

REVIEW OF ENVIRONMENTAL FACTORS (REF) PROPOSED SKATE PARK BAY AND BASIN LEISURE CENTRE THE WOOL ROAD, VINCENTIA



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Document control

Item	Details
Project	Proposed Skate Park – Bay and Basin Leisure Centre
Client/Proponent	City Lifestyles, Shoalhaven City Council
Prepared By	City Services, Shoalhaven City Council

Document status

Version	Author / Reviewer*	Name	Signed	Date
V1.0	Author	Geoff Young	2/	18/05/2023
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	Reviewer	Jeff Bryant	10	25/05/2023
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*Review and endorsement statement:

"I certify that I have reviewed and endorsed the contents of this REF document and, to the best of my knowledge, it is in accordance with the EP&A Act, the EP&A Regulation and the Guidelines approved under clause 170 of the EP&A Regulation, and the information it contains is neither false nor misleading".

Assessment and approvals overview

Item	Details
Assessment type	Division 5.1 (EP&A Act) - Review of Environmental Factors (REF)
Proponent	Shoalhaven City Council
Determining authority / authorities	Shoalhaven City Council
Required approvals (consents, licences and permits)	No
Required publication	Yes – as per Section 171(4)(c) of the NSW <i>Environmental Planning and</i> Assessment Regulation 2021



1. PROPOSAL AND LOCATION

1.1 Overview and background

The proposed activity is the construction of a skate park within the grounds of the Bay and Basin Leisure Centre, The Wool Road, Vincentia.

The initial site of the proposed skate park was the undeveloped heathland to the south of the Bay and Basin Aquatic Centre carpark. However, after a review of the environmental, legal and planning constraints associated with this site (documented in D19/72225), the proposal was moved to the existing cleared and filled land immediately to the south of the Aquatic Centre (Figure 1 p.5). The new proposed site has been previously cleared and filled for the purposes of the Bay and Basin Leisure Centre approved under Development Consent DA98/1299. Unlike the initial proposed location, the new location is not encumbered by any conditions of the consent.

The works would involve the following:

- site establishment
- earthworks
- drainage works
- importation and storage of base materials
- construction of the facility.

Plans are provided in Appendix A with a summary provided in Figure 2 (p.6).

No clearing of native vegetation is required.

Works would also involve the implementation of safeguards and mitigation measures prescribed in Section 7 of this Review of Environmental Factors (REF).

Shoalhaven City Council (SCC) is the proponent and the determining authority under Part 5 of the EP&A Act. The environmental assessment of the proposed activity and associated environmental impacts has been undertaken in the context of Clause 171 of the *Environmental Planning and Assessment Regulation 2021*. In doing so, this REF helps to fulfil the requirements of Section 5.5 of the Act that SCC examine and take into account to the fullest extent possible, all matters affecting or likely to affect the environment by reason of the activity.

1.2 Location

The current proposed location of skate park is on a cleared site immediately to the south of the Bay and Basin Aquatic Centre, Vincentia (Figure 1p.5). Details of the property are summarised below:

- Lot 51 DP 862697, 167A The Wool Road, Vincentia, Parish of Bherwerre
- Owned by Shoalhaven City Council in freehold title
- Classified as Operational Land under the Local Government Act 1993



Figure 1 Location of the proposed activity



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2. EXISTING ENVIRONMENT

The skate park would be located within the Bay and Basin Leisure Centre located at 167A The Wool Road, Vincentia. The proposed activity site consists of a triangular shaped, flat, grassed area of the southern side of the Bay and Basin Leisure Centre. The area is generally denuded of native vegetation and is utilised as overflow car parking, although no parking infrastructure has been provided.

The site is surrounded by pavement to the south-east and south-west. The pavement has kerb and gutter around its edges and is mainly used for parking and the movement of vehicle traffic.

The geology sheet indicates the site is underlain by Snapper Point Formation of the Shoalhaven Group, with a lithology consisting of sandstone, pebbly sandstone, and minor siltstone. The Wandrawandian Formation is mapped nearby with an undefined boundary, the formation consists of silty sandstone, mudstone and siltstone (Terra Insight 2019). The site is underlain by the following (Terra Insight 2019):

- Fill material of variable composition including silty sands, sandy clays, clayey sands and silty clays of low plasticity, and variable consistency (dense to very dense or stiff to very stiff with some firm zones) to depths between 1.2 and two metres
- Residual soils underneath the fill material which comprises of silty clays of low to medium plasticity and stiff to very stiff consistency, that graded into weathered material at depths below two metres.

The variability of the fill material indicates that the fill was likely to have been placed in an uncontrolled manner.

The site was cleared and filled for the purposes of the Bay and Basin Leisure Centre approved under Development Consent DA98/1299. Unlike the initial proposed location of the skate park, the new location is not encumbered by any conditions of the consent.

In the context of this environmental assessment the area to be affected by the proposed activity:

- is zoned SP2 Community Facility under the Shoalhaven Local Environmental Plan 2014 (SLEP 2014) and is unaffected by Scenic Protection, Riparian Lands, and Terrestrial Biodiversity clauses.
- is not mapped as risk for acid sulfate soils
- is not subject to undetermined Aboriginal Land Claims.
- is not mapped on the Biodiversity Values Map which identifies land with high biodiversity value as defined by the NSW *Biodiversity Conservation Regulation* 2017



- is not an Aboriginal Place in the context of the NSW National Parks and Wildlife Act 1974.
- is not mapped as contaminated or potentially contaminated land.

All stormwater from the skatepark would be directed into existing stormwater system.

Photos of the site are provided below.



Photo 1: Site of the proposed skate park





Photo 2: Site of the proposed skate park

3. ASSESSMENT OF LIKELY IMPACTS ON THE ENVIRONMENT

3.1 Threatened species impact assessment (NSW)

Section 1.7 of the EP&A Act 1979 applies the provisions of Part 7 of the NSW *Biodiversity Conservation Act 2016* and Part 7A of the *NSW Fisheries Management Act 1994* that relate to the operation of the Act in connection with the terrestrial and aquatic environment. Each are addressed below.

3.1.1 Part 7A Fisheries Management Act 1994

Part 7A relates to threatened species conservation. As the proposed activity would not affect key fish habitat or aquatic and marine environments, this part of the Act is not relevant and further assessment and consideration is not necessary.

3.1.2 Part 7 Biodiversity Conservation Act 2016

Section 7.3 of the Act provides a 'five-part' test to determine whether a proposed development or activity is likely to significantly affect threatened species or ecological communities, or their habitats.

As the site has been cleared, filled, denuded of vegetation, and utilised as an informal car park the occurrence of threatened species is highly unlikely. There is also no habitat for threatened species or ecological communities and native vegetation is unlikely to be indirectly impacted *e.g.* through changes in hydrology. As such, a five-part test is not warranted.

3.2 Indigenous heritage

Under Section 86 of the NSW *National Parks and Wildlife Act 1974* (NPW Act) it is an offence to disturb, damage, or destroy any Aboriginal object without an Aboriginal Heritage Impact Permit (AHIP). The Act, however, provides that if a person who exercises 'due diligence' in determining that their actions will not harm Aboriginal objects has a defence against prosecution if they later unknowingly harm an object without an AHIP (Section 87(2) of the Act). To effect this, the NSW Department of Environment, Climate Change and Water (now the NSW Department of Planning, Industry and Environment) have prepared the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* (hereafter referred to as the 'Due Diligence Guidelines) to assist individuals and organisations to exercise due diligence when carrying out activities that may harm Aboriginal objects and to determine whether they should apply for an AHIP.

In accordance with the Due Diligence Guidelines (DECCW 2010), a search on the Aboriginal Heritage Information Management System (AHIMS) indicated that no known Aboriginal heritage site exists in proximity to the proposed skate park (see Figure 3 below).

An archaeological assessment for the Leisure Centre Complex was conducted in 1997 (In-Site Heritage Management 1997). This assessment included an on-site survey of the area now proposed for the skate park. Although artefacts comprising three stone artefacts were recorded

nothing was found in the skate park

area.

Shoalhaven City Council

Review of Environmental Factors Part 5 Assessment EP&A Act 1979

An archaeological monitoring program was also undertaken after vegetation clearing works for the Bay and Basin Leisure Centre (Navin Officer 1999). The results were reported as:

"No archaeological material was found within the boundaries of the construction area.

As post-vegetation clearance visibility was found to be generally excellent across the area, this result is taken to be an accurate reflection of the archaeological sensitivity of the subject land, that is, very little or no archaeological material may be said to occur in the area. The paucity of archaeological remains on the site may be an indication of the area's unsuitability for substantial Aboriginal occupation (such as camping) possibly due to the frequent waterlogging of local soils."

The skate park area is also not in an area that, according to Step 2 of the Due Diligence Guidelines, have a high propensity for artefacts, *i.e.* the site is:

- more than 200 metres of waters
- not located within a sand dune system
- not located on a ridge line or headland
- not located within 200 metres below or above a cliff face
- not located with 20 metres of or in a cave, rock shelter, or a cave mouth.

The site also has been significantly disturbed through clearing and filling works associated with the construction of the Leisure Centre (Terra Insights 2019).

As there are no recorded sites and as the area that would be impacted by the proposal does not have a high propensity for artefacts, the Due Diligence Guidelines requires no further assessment as it is reasonable to conclude that there is a low probability of objects occurring in the area. An Aboriginal Heritage Impact Permit (AHIP) is not required, and the work can proceed.



Date: 17 May 2023

Figure 3 Results of AHIMS Aboriginal heritage search



AHIMS Web Services (AWS) Search Result

Your Ref/PO Number : bay and basin skate park Client Service ID : 782658

Shoalhaven City Council - Nowra PO Box 42 Bridge Rd Nowra New South Wales 2541 Attention: Geoffrey Young

Email: geoff.young@shoalhaven.nsw.gov.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Datum :GDA. Zone : 56. Eastings : 286773.0 -287025.0. Northings : 6115984.0 - 6116265.0 with a Buffer of 0 meters. conducted by Geoffrey Young on 17 May 2023.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.	
0	Aboriginal places have been declared in or near the above location. *	

Council

Figure 4 Location or closest known Aboriginal heritage site (yellow square)



3.3 Non-indigenous heritage

No items of local heritage significance or any items on the State Heritage Register or listed in the Shoalhaven Local Environmental Plan occur near the site such that the proposed works might impact them. No further consideration is required.

3.4 EP&A Regulation – Clause 171 matters of consideration

Clause 171(2) of the *Environmental Planning and Assessment Regulation 2021* lists the factors to be taken into account when consideration is being given to the likely impact of an activity on the environment under Part 5 of the EP&A Act. The following assessment in Table 1 below deals with each of the factors in relation to the proposed activity.

Table 1	Section 171(2) Fac	tors
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Does the proposal:	Assessment	Reason
a) Have any	Low adverse	There may be short traffic disruptions and reduced car
environmental	short term	park availability during construction.



Does the proposal:	Assessment	Reason
impact on a community?	Positive – long term	The informal car-parking occurring on the site would be reduced but this was never planned for car-parking and is utilised even when car-parking space is available. The new skate park would benefit the Bay and Basin community by increasing the opportunities for this recreational pursuit. There is demonstrated overall support for a skate park in the area (refer to Section 6). The proposed activity would not impact views, community services and infrastructure such as water, waste management, educational, medical or social services.
b) Cause any transformation of a locality?	Low	The proposal will transform a cleared area currently utilised for informal car-parking into a skate park generally comprising concrete bowls, ramps and steel rails. The locality is characterised by sporting and leisure facilities surrounded by bushland. The proposal, being a sporting/leisure facility, would complement the locality.
c) Have any environmental impact on the ecosystem of the locality?	Negligible	The site consists of cleared and filled land, denuded of vegetation and utilised for informal car-parking. Ecosystem values of the proposed activity site are very limited so the impact of the proposal would be negligible.
d) Cause a diminution of the aesthetic, recreational, scientific or other environmental quality or value of a locality?	Positive (recreation) negligible (for remaining factors)	The proposed activity would improve the recreational value of the locality as it will be a skate park upon completion. The proposed activity site is not considered to have significant aesthetic qualities. It is not viewed from scenic lookouts nor does it provide visual privacy for residential areas. The proposal would also maintain a bushland corridor between the development and The Wool Road, to maintain a screen and a bushland background. The site has no known significant or other environmental qualities or values.
e) Have any effect on a locality, place or building having aesthetic, anthropological,	Negligible	The proposed activity does not affect a site listed on the State Heritage List or a site listed in the heritage schedules of the SLEP 2014. Underground 'relics' (as defined in the NSW Heritage Act) are also not anticipated.



Does the proposal:	Assessment	Reason
archaeological, architectural, cultural, historical, scientific, or social significance or other special value for present or future generations?		The site is not within an Aboriginal Place declared under the <i>National Parks and Wildlife Act 1974</i> . As demonstrated in Section 3.2 of this REF, it is reasonable to conclude that there is a low probability of Aboriginal objects occurring in the activity area.
f) Have any impact on the habitat of protected fauna (within the meaning of the Biodiversity Conservation Act 2016)?	Negligible	The site of the proposed skate park has been denuded of vegetation since the construction of the Leisure Centre. Therefore, there would be no impact of fauna habitat.
g) Cause any endangering of any species of animal, plant or other form of life, whether living on land, in water or in the air?	Negligible	There are no species likely to rely on the site of the proposed works to the extent that modification would put them further in danger.
h) Have any long- term effects on the environment?	Low adverse	The works would be relatively short term and the noise generated will occur during normal working hours. There are no sensitive receivers in the vicinity of the proposed works. In the long-term, the area will stabilise and long-term effects from the works are considered unlikely. The proposed activity would not use hazardous substances or use or generate chemicals which may build up residues in the environment.
i) Cause any degradation of the quality of the environment?	Low-adverse	Aquatic ecosystems are not likely to be significantly affected by the proposed activity and there is not likely to be any long-term or long-lasting impact through the input of sediment and nutrient into the ecosystem. The proposal would not intentionally introduce noxious weeds, vermin, or feral animals into the area or contaminate the soil. Environmental safeguards and mitigation measures (Section 7) would be employed to minimise risk of impacts.
j) Cause any risk to the safety of the environment?	Negligible	The proposed activity would not involve hazardous wastes and would not lead to increased bushfire or landslip risks.



Does the proposal:	Assessment	Reason
		The activity is not anticipated to adversely affect flood behaviour or exacerbate flooding risks.
k) Cause any reduction in the range of beneficial uses of the	Positive	Apart from being an informal car park, the proposed activity site has no beneficial use. The use of the site will inherently increase if developed
environment?		as a shale pain.
I) Cause any pollution of the environment?	Low adverse	The proposal would involve an increase in noise during the construction phase due to the use of machinery. However, this would not affect any sensitive receivers such as schools, childcare centres and hospitals.
		The activity is not expected to result in the oxidation of acid sulphate soils and subsequent leaching back into the waterways.
		It is unlikely that the activity (including the environmental impact mitigation measures listed in Section Error! Reference source not found. of this REF) would result in water or air pollution, spillages, dust, odours, vibration or radiation.
		The proposal does not involve the use, storage or transportation of hazardous substances or the use or generation of chemicals which may build up residues in the environment.
m) Have any environmental problems associated with the disposal of waste?	Negligible	The waste that would be disposed off-site can be recycled or re-used in accordance with resource recovery exemptions or taken to a licensed waste facility.
		There would be no trackable waste, hazardous waste, liquid waste, or restricted solid waste as described in the NSW <i>Protection of the Environment Operations Act 1997</i> .
n) Cause any increased demands on resources (natural or otherwise) which are, or are likely to become, in short supply?	Negligible	The amount of resources that would be used are not considered significant and would not increase demands on current resources such that they would become in short supply.



Does the proposal:	Assessment	Reason
o) Have any cumulative environmental effect with other existing or likely future activities?	Negligible	Previous developments in the vicinity such as the Stockland residential and commercial development, Bay and Bay Leisure Centre, sporting fields, and the entrance road have reduced the habitat of threatened species to the extent that each required a species impact statement (SIS). The current proposal, however, would not further reduce habitat for the threatened species as the site has been cleared, denuded of vegetation and used as informal car- parking since the construction of the Leisure Centre in 1999. The assessed low adverse or negligible impacts of the proposal are not likely to interact. Mitigation measures (Section 7) shall be implemented to minimise the risk of cumulative environmental effects.
 p) Any impact on coastal processes and coastal hazards, including those under projected climate change conditions 	Negligible	The proposed activity would have no effect on coastal processes including those projected under climate change conditions.
q) applicable local strategic planning statements, regional strategic plans or district plans made under the Act, Division 3.1	Positive	The proposed activity is consistent with the <i>Shoalhaven 2040</i> Strategic Land-use Planning Statement, including Planning Priority 2 <i>Delivering infrastructure</i> and Planning Priority 7 <i>Promoting a responsible visitor economy</i> <u>https://doc.shoalhaven.nsw.gov.au/displaydoc.aspx?record=D20/437277</u> . The activity is not inconsistent with the Illawarra Shoalhaven Regional Plan 2041 <u>https://www.planning.nsw.gov.au/-</u> /media/Files/DPE/Plans-and-policies/Plans-for-your-area/Regional-plans/Illawarra-Shoalhaven-Regional-Plan-05-21.pdf and does not impact any areas mapped in the Planning Statement as "high environmental value" or "habitat corridor".
r) other relevant environmental factors	n/a	Environmental factors have been addressed in Section 3 of this REF.

4. PERMISSIBILITY AND APPROVALS PATHWAY

4.1 Environmental Planning & Assessment Act 1979

Section 4.1 (Development that does not need consent) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) states that:

"If an environmental planning instrument provides that specified development may be carried out without the need for development consent, a person may carry the development out, in accordance with the instrument, on land to which the provision applies."

In this regard, Section 2.67 of the *State Environmental Planning Policy (Transport and Infrastructure) 2007* (hereafter referred to as the Transport and Infrastructure SEPP) provides that, within Operational Land, "Development for any purpose referred to in section 2.73(3) may be carried out without consent on operational land by or on behalf of a council". Section 2.73(3) includes "recreation facilities (outdoor)" as shown below:

- (3) Any of the following development may be carried out by or on behalf of a public authority without consent on land owned or controlled by the public authority-
 - (a) development for any of the following purposes-
 - (i) roads, pedestrian pathways, cycleways, single storey car parks, ticketing facilities, viewing platforms and pedestrian bridges,
 - (ii) recreation areas and recreation facilities (outdoor), but not including grandstands,

Under the Standard Instrument and the Shoalhaven Local Environmental Plan 2014 (SLEP 2014) "recreation facilities (outdoor)" includes skate board facilities and "*any other building or place or a like character used for outdoor recreation…*"

recreation facility (outdoor) means a building or place (other than a recreation area) used predominantly for outdoor recreation, whether or not operated for the purposes of gain, including a golf course, golf driving range, mini-golf centre, tennis court, paint-ball centre, lawn bowling green, outdoor swimming pool, equestrian centre, skate board ramp, go-kart track, rifle range, water-ski centre or any other building or place of a like character used for outdoor recreation (including any ancillary buildings), but does not include an entertainment facility or a recreation facility (major).

As the proposed activity does not require development consent, and as it constitutes an 'activity' for the purposes of Part 5 of the EP&A Act, being carried out by (or on behalf of) a public authority, environmental assessment under Part 5 of the EP&A Act is required. This REF provides this assessment.

4.20ther

A summary of other relevant legislation and permissibility is provided in Table 2 below.

Table 2: Summary of other relevant legislation and permissibility

NSW STATE LEGISLATION			
Environmental Planning and Assessment Act 1979 (EP&A Act)			
Permissible $$ Not permissible			
Justification:			
The Transport and Infrastructure SEPP provides for the proposed works to be undertaken without development consent (refer above). In circumstances where development consent is not required, the environmental assessment provisions outlined in Part 5 of the Act are required to be complied with. This REF fulfils this requirement.			



State Environmental Planning Policy (Hazards and Resilience) 2021		
Permissible $$ Not permissible		
Justification:		
The proposed activity is not mapped as comprising coastal wetlands or littoral rainforest for the purpose of this SEPP. Other considerations of the SEPP are not applicable to the proposed activity.		
Shoalhaven Local Environmental Plan 2014 (SLEP)		
Permissible $$ Not permissible		
Justification: Under the SLEP the proposed activity may have required development consent. The provisions of SEPP Infrastructure, however prevail over the SLEP where there is an inconsistency by virtue of Section 3.28 of the EP&A Act. Consequently development consent is not required. In circumstances where development consent is not required, the environmental assessment provisions outlined in Part 5 of the Act are required to be complied with. This REF fulfils this requirement		
Protection of the Environment Operations Act 1997		
Permissible $$ Not permissible		
Justification: The proposed activity does not constitute scheduled development work or scheduled activities as listed in Schedule 1 of the Act. The proposed activity therefore does not require an environmental protection licence.		
Local Land Services Act 2013		
Permissible $$ Not permissible		
Justification:		
Any clearing of vegetation would be of a kind authorised under Section 60O(b)(ii) of the Local Land Services Act 2013 ("an activity carried out by a determining authority within the meaning of Part 5 of the Act after compliance with that Part."). No separate authorisation under the Act is required.		
National Parks and Wildlife Act 1974 (NP&W Act)		
Permissible $$ Not permissible		
Justification:		
 The proposed activity would not encroach into National Park estate. The Act provides the basis for the legal protection and management of Aboriginal sites in NSW. Under Sections 86 and 90 of the Act it is an offence to disturb an Aboriginal object or knowlingly destroy or damage, or cause the destruction or damage to, an Aboriginal object or place, except in accordance with a permit of consent under section 87 and 90 of the Act. 		

• As there are no recorded sites or visible objects and as the site is on 'disturbed land', the Due Diligence Guidelines (DECCW 2010) requires no further assessment as it is



reasonable to conclude that there is a low probability of objects occurring in the area of the proposed activity and an AHIP is not required. Refer to Section 3.2 of this REF for more information.

Biodiversity Conservation Act 2016

Permissible $$	Not permissible
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Justification:

- The proposed activity is unlikely to have a significant impact on species and communities listed in the schedules of the Act (refer to Section 3.1 of this REF).
- The proposed development is not within an area declared to be of "outstanding biodiversity value" as defined in the Act.
- The design and mitigation measures (Section 7) would ensure that no *serious and irreversible impacts on biodiversity values* (as defined by the BC Act) occur at the site of the proposed activity.

The proposed activity therefore is not deemed to be *likely to significantly affect threatened species* and an environmental impact statement (EIS) or a Biodiversity Development Assessment Report (BDAR) is not required.

It is also a defence to a prosecution for an offence under Part 2 of the Act (harming animals, picking plants, damaging the habitat of threatened species or ecological communities *etc*) if the work was essential for the carrying out of an activity by a determining authority within the meaning of Part 5 of the *Environmental Planning and Assessment Act 1979* after compliance with that Part. The activity will not remove vegetation that is listed under Schedule 1 Threatened Species, Schedule 2 Threatened ecological communities and Schedule 6 Protected Plants. Therefore the activity is considered permissible as this REF has been prepared and determined in accordance with the EP&A Act.

Water Management Act 2000

Permissible $\sqrt{}$ Not permissible

Justification:

- Local councils are exempt from s.91E(1) of the Act in relation to all controlled activites that they carry out in, on or under waterfront land by virtue of clause 41 of the *Water Management (General) Regulation 2018.*
- The proposal would not interfere with the aquifer and therefore an interference licence is not required (s.91F).



Local Government Act 1993		
Permissible $$ Not permissible		
Justification: The land on which the skate park would be constructed is operational land. Unlike "community" land, "operational" land has no special restrictions other than those that apply to any land in NSW.		
Heritage Act 1977		
Permissible $$ Not permissible		
The proposed activity would not disturb an item of state heritage significance. The proposal would constitute 'minor works' under 'Relics of local heritage significance: a guide for minor works with limited impact'. The proposal would not result in any direct impacts on heritage items or values. Works can be undertaken with caution under an applicable exception under s139(1) and (2) of the Act.		
COMMONWEALTH LEGISLATION		
Commonwealth <i>Environment Protection and Biodiversity Conservation Act 1999</i> (EP&BC Act)		
Permissible $$ Not permissible		
Justification:		
The proposed activity would not be undertaken on Commonwealth land and no matters of National Environmental Significance are likely to be significantly impacted by the proposed activity. The proposed activity is therefore not a controlled action and does not require commonwealth referral.		
Commonwealth Native Title Act 1993		
Permissible $$ Not permissible		
Justification:		
As the activity would be undertaken on Freehold title land, it is anticipated that native title has been extinguished as a Previous Exclusive Possession Act – Freehold Title (Section 23B of the Act).		



5. CONSULTATION WITH GOVERNMENT AGENCIES

5.1 Transport and Infrastructure SEPP 2021 requirements

<u>Section 2.10 – Consultation with councils - development with impacts on council-related</u> infrastructure or services

The proposed activity would:

- (a) not have an impact on stormwater management
- (b) unlikely generate traffic to an extent that it would strain the capacity of the road system
- (c) not involve connection to, or have a substantial impact on the capacity of the sewerage system
- (d) not involve connection to, and use of a substantial volume of water from the water supply system
- (e) unlikely to cause a disruption to pedestrian or vehicular traffic
- (f) not involve excavation of a footpath or road.

Consultation under Section 2.10 is therefore not required.

Section 2.11 - Consultation with councils - development with impacts on local heritage

No impacts to any local heritage item would occur. Consultation under Section 2.11 is therefore not required.

Section 2.12 - Consultation with councils - development with impacts on flood liable land

The proposed activity site is not on flood liable land. Consultation with Council is therefore not required.

<u>Section 2.13 – Consultation with State Emergency Service (SES) - development with impacts on</u> <u>flood liable land</u>

The proposed activity site is not on flood liable land. Consultation with SES is therefore not required.

<u>Section 2.14 – Consultation with councils - development with impacts on certain land within the coastal zone</u>

The proposal would not occur within a coastal vulnerability area. Consultation is therefore not required.

Section 2.15 - Consultation with public authorities other than councils

In consideration of the other consultation requirements specified under Section 2.15 of the Transport and Infrastructure SEPP, the proposed activity:

• would not be undertaken adjacent to land reserved under the National Parks and Wildlife Act 1974 or land acquired under that Act



- would not be undertaken on land in Zone E1 National Parks and Nature Reserves on in a equivalent land use zone.
- does comprise a fixed or floating structure in or over navigable waters
- would not increase the amount of artificial light in the night sky and located on land within the dark sky region as identified on the dark sky region map
- would not be undertaken within Defence communications facility buffer (only relevant to the defence communications facility near Morundah)
- would not be undertaken on land in a mine subsidence district within the meaning of the *Mine Subsidence Compensation Act 1961*
- would not have an impact on the Willandra Lakes Region World Heritage Property
- would not occur in a Western City operational area specified in the Western Parkland City Authority Act 2018.

These prescribed consultation requirements therefore do not apply.

Section 2.16 – Consideration of Planning for Bush Fire Protection (PBP)

The proposed activity is not a development prescribed in this section (health services facilities, correctional centres, residential accommodation). Consideration of PBP is therefore not required.

5.2 SCC Internal Asset Custodian

Previous iterations of this REF identified a few potential conflicts between various components of the Bay and Basin Leisure Centre precinct, *i.e.:*

- The site is not serviced by public amenities. The closest public toilets would be the Burton Street amenities in Vincentia, more than 1.5 kilometres away. Without public toilets at the site there could be increased pressure on the use of the toilets within the Leisure Centre or Bomber Oval.
- Similarly, there are no eateries in the vicinity of proposed skate park. There is likely to be pressure from users of the skate park to utilise the cafeteria at Leisure Centre, which is not currently set-up for external use. This could lead to operational issues for the Leisure Centre.
- The outdoor play area of the creche would be immediately adjacent to the construction site and therefore potentially subject to dust, noise and hazardous works.

City Lifestyles is now both the proponent and ultimate asset custodian of the skate park and aquatic centre and acknowledge that the patrons of the skate park will interact and use the aquatic centre (Brown, S. *pers. comm. 2023).*

The creche operates between 9 am and 12 pm Monday to Friday with the outdoor area optional area for the creche's operation. Children can remain inside during noisy, dusty and potentially hazardous construction operations. However, as part of the environmental impact mitigation measures prescribed in Section 7 of this REF, the construction contractor shall engage directly with the management of the Leisure Centre and creche to work out strategies to maximise use of



the outdoor area, *e.g.* notification of noisy / dusty / hazardous works during creche operation times, installation of hoarding between the creche outdoor area and the construction site.

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6. COMMUNITY ENGAGEMENT

The skate park is a component of the Bay and Basin Community Hub Master Plan prepared by consultants Group GSA. The Draft Master Plan was presented to Council's Strategy and Assets Committee meeting on the 21 February 2017. At that meeting under delegated authority, MIN17.102 was adopted:

"1. Endorse public exhibition of the draft Bay and Basin Community Hub Master Plan for a period of 42 days.

2. Advise stakeholders involved in the preparation of the draft Bay and Basin Community Hub Master Plan of its public exhibition.

3. Receive a further report after public exhibition of the draft Bay and Basin Community Hub Master Plan.

4. Establish a Sub-Committee comprising of Clrs and members of the CCB's and user groups be convened to assist to finalise the Draft Bay and Basin Community Hub Master Plan."

In accordance with item 1 of the resolution, SCC placed the Draft Master Plan on public exhibition from 6 March to 30 April 2017. The Get Involved Page, Social Media, Print Media and hard copy flyers were utilised. In addition, there were two drop-in sessions held at the Bay and Basin Leisure Centre on 4 and 5 April 2017, for the community to view the plans and speak with Council staff and the consultants. The drop-in sessions were reported to have been well attended with positive comments and feedback on the proposal.

Over the exhibition period, the relevant website link received 944 visits and SCC received 11 submissions with a range of comments (refer to D17/182418) summarised as:

- suggestion to consider a similar facility of this magnitude in Sanctuary Point
- suggestion to include reversible basketball/netball hoops and dual marking courts
- suggestion to include outdoor pool for water polo
- suggestion to consider varied pedestrian access
- concern regarding impact on the Huskisson Community Centre.

In general, the comments were broad and ranged from satisfied to dissatisfied, however, overall there was support for the Master Plan.

In relation to the skate park, a comment was made that the skate park may attract anti-social behaviour. In response the Skate Park was purposefully located at the front of the facility to ensure safer by design principles and better passive surveillance.

Additional public engagement was undertaken during the design of the skate park. In 2020, SCC engaged skate park design company Convic to consult with the community and develop the concept and detailed design. Convic conducted pre-design consultation with the community and relevant stake holders to inform the draft concept of the skate park. Further consultation was conducted on the draft concept, and amendments were made to reflect the feedback. The level of



consultation is reflected in the report to Council Strategy and Assets Committee of 19 January 2021 (SCC document reference D20/546127):

"Community Engagement

Pre-design Consultation

Due to the current social environment and social distancing practices, the consultants adapted their typical face-to-face community workshops to occur through an online platform, supported by Council's Get Involved webpage. The community consultation ran for three weeks from Monday 20 July to Sunday 9 August 2020 (inclusive), which included potential users, the broader community, and surrounding stakeholders.

The consultation comprised a video designed to educate and inspire the community on possible inclusions for the new facility and provide insight into the project parameters, opportunities and constraints. This was followed by an online questionnaire that allowed the community to provide input towards the design of the new facility.

The pre-design consultation was completed by 197 participants. The Site Analysis and Pre-Design Consultation Report can be viewed in Attachment 1.

The community feedback was consolidated, and the key findings formed the basis of the Draft Concept Design Report.

Consultation of the Draft Concept Design Report

A Draft Concept Design Report was prepared following the pre-design consultation. The draft concept took into consideration the skill level, preferred style, and requirements of potential users and their spectators. The Draft Concept Design Report is provided as Attachment 2.

The Draft Concept Design Report was exhibited to the community from Friday 20 November to Sunday 6 December 2020 (inclusive). This allowed feedback on the draft concept of the Bay and Basin Skate Park. Feedback was sought from internal Council units, the community, and relevant stakeholders.

During the consultation period twenty (20) survey responses were received from the community, with key themes and messages being:

- Supported the draft concept design
- Requested an increase in the provision of street skating opportunities
- Request to include a skateable set of stairs
- Request to provide additional advanced skate features
- Request to provide more shade and amenity
- Request to add rubbish bins to the site
- Request to include a water fill up station

As a result of internal and external feedback on the draft concept, the Final Concept Design Report for the Bay and Basin Skate Park has been prepared. The final concept includes an increase of street skating elements, an increase of advanced skating features, additional shade and seating, and supporting elements such as bins and a drinking fountain. The Final Concept Design Report is provided at Attachment 3."

This level of engagement is consistent with SCC's Community Engagement Policy (POL12-28). No further community engagement is required.



7. ENVIRONMENTAL SAFEGUARDS AND MEASURES TO MINIMISE IMPACTS

Safeg	juard / Measure	Responsibility
Works planning, approvals, consultation & notification		
1.	This REF shall be published on the NSW Planning Portal.	SCC EOO
Site E	Establishment	
2.	Erosion and sediment controls in accordance with the 'Blue Book' (Landcom 2004) shall be installed and maintained to prevent the entry of sediment into waterways i.e. water diversion, minimising disturbance, erosion control, sediment capture and rapid re-establishment.	SCC Project Manager and Construction Contractor
3.	Site offices, amenities and material stockpiles shall be sited on existing cleared areas and not impact native vegetation.	Construction Contractor
4.	A Construction Environmental Management Plan (CEMP) for the proposed activity shall be prepared to address the prescribed safeguards and measures within this REF and environmental regulations.	Construction Contractor
5.	The contractor shall engage with the management of the Bay and Basin Leisure Centre Child (BBLC) Minding Services (the creche) to minimise disruption to the use of the outdoor area of the creche, e.g. notification of noisy / dusty / hazardous works during creche operation times, installation of hoarding between the creche outdoor area and the construction site.	Construction Contractor and the BBLC Management.
Construction works		
6.	Erosion and sediment controls shall be maintained in good working order for the duration of the works and subsequently until the site has been stabilised and the risk of erosion and sediment dispersal is minimal.	Construction Contractor
7.	An emergency spill kit shall be always kept on-site with procedures to contain and collect any leakage or spillage of fuels, oils, greases, etc form plant and equipment.	Construction Contractor
8.	Staff working at the site will be instructed to stop work immediately on identification of any suspected Aboriginal heritage artefact. If any objects are found, NSW Department of Planning, Industry and Environment (ph:131 555) shall be contacted.	Construction Contractor



Safeguard / Measure	Responsibility	
 Any stockpiles of soil shall be located at least 10 metres away from the estuary and any stormwater flow-paths with erosion and sediment controls in place in accordance with the 'Blue Book' (Landcom 2004). 	Construction Contractor	
10. Any waste shall be managed, transported, stored, collected and disposed of in an environmentally satisfactory manner pursuant to NSW <i>Protection of the Environment Operations Act</i> 1997.	Construction Contractor	
Post construction		
11. An asset form <u>must</u> be trimmed to file 44574E on commissioning of the assets in Accordance with POL15/8 Asset Accounting Policy section 3.1.4 and POL16/79 Asset Management Policy section 3.3.	SCC PM	

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8. SIGNIFICANCE EVALUATION & DECISION STATEMENT

This Review of Environmental Factors has assessed the likely environmental impacts, in the context of Part 5 of the *Environmental Planning and Assessment Act 1979*, of a proposal by Shoalhaven City Council to the construction of a skate park at the Bay and Basin Leisure Centre.

In consideration of the proposal as described in Section 1, in accordance with any design plans referred to in this report, and assuming the implementation of all proposed safeguards and mitigation measures (Section 7), it is determined that:

- 1. It is unlikely that there will be any significant environmental impact as a result of the proposed work and an Environmental Impact Statement is not required for the proposed works.
- 2. The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats and a Species Impact Statement / BDAR is not required.
- 3. No additional statutory approvals, licences, permits and external government consultations are required.
- 4. The proposed activity may proceed.

In accepting and adopting this REF, Shoalhaven City Council commits to ensuring the implementation of the proposed safeguards and mitigation measures identified in this report (Section 7) to minimise and/or prevent detrimental environmental impacts.

Determined by:

Kevin Norwood (Acting) Manager – Recreation Projects – Planning & Delivery City Lifestyles – Shoalhaven City Council Date: 07/08/2023



9. REFERENCES

- In-Site Heritage Management 1997 An Archaeological Assessment of a Proposed Leisure Complex, The Wool Road, Vincentia, New South Wales. Report to Shoalhaven City Council.
- Landcom 2004 Managing Urban Stormwater: Soils and Construction 4th edition. NSW Government. ISBN 0-9752030-3-7
- Navin Officer 1999 Proposed Bay and Basin Leisure Centre, Vincentia, NSW: Archaeological Inspection and Monitoring Program. Unpublished Report to Shoalhaven City Council.
- Terra Insight 2019 Report on Geotechnical Investigation: Bay and Basin Leisure Centre, Vincentia NSW. Unpublished report for Shoalhaven City Council. Terra Insight reference TERRA19424.Rep1.Rev0

Personal communications

Brown, Simon 2023 Centre Leisure Manager, Shoalhaven City Council



APPENDIX A – The Activity

BAY AND BASIN SKATE PARK



UNIT 13, 46-50 REGENT STREET RICHMOND VIC 3121 AUSTRALIA T+61 3 9486 9899 F+61 3 9486 9088 WWW.CONVIC.COM

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CLIENT SHOALHAVEN CITY COUNCIL 36 BRIDGE RD NOWRA, NSW, 2514

LOCATION OF WORKS

drawn AC	SCALE
checked MP	
DIRECTOR BH	



			PROJECT
			BAY AND BASIN SKATE I
			BAY AND BASIN LEISURE CENTRE
В	FOR CONSTRUCTION	26.04.21	TITI F PAGE AND DRAWI
А	DRAFT DETAILED DESIGN ISSUE	31.03.21	

PARK

ING INDEX

FOR CONSTRUCTION DRAWING NUMBER REV 20025_CD000 B

DRAWING INDEX

NO.	DRAWING TITLE
20025 CD000	Title Page & Drawing Index
20025_CD001	General Notes
20023_00001	
20025_CD010	Existing Conditions Plan
20025_CD011	Demolition Plan
20025_CD012	Site Plan
20025_CD100	Grading Plan
20025_CD101	X&Y Plan
20025_CD102	Dimension Plan
20025_CD103	Surface Finishes Plan
20025_CD104	Concrete Joint Plan
20025_CD105	Steelwork and Coping Plan
20025_CD106	Section Key Plan
20025_CD200	Sections 01
20025_CD201	Sections 02
20025_CD300	Details 01
20025_CD301	Details 02
20025_CD320	Shelter Details

GENERAL NOTES:

DESIGN:

. ANY PERSON WHO UNDERTAKES ALTERATIONS, VARIATIONS OR MODIFICATIONS TO THESE DESIGN DRAWINGS, WITHOUT CONSULTATION AND APPROVAL FROM THE ORIGINAL OR SUBSEQUENT DESIGNER, WILL ASSUME THE DUTIES OF A DESIGNER AND WILL BE HELD RESPONSIBLE FOR THE SAFETY IN DESIGN FOR THIS PROJECT.

ENGINEERING:

- . ALL ENGINEERING DETAILS, SPECIFICATIONS AND CONCRETE JOINTS SHALL BE REVIEWED AND CERTIFIED BY THE DESIGNER (CONVIC).
- SITE
- . CONTRACTOR TO VERIFY LOCATION OF AND ISOLATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS (LOCATIONS SHOWN ON PLANS ARE APPROXIMATE). ALL EXISTING SERVICES TO BE RETAINED AND PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE.
- 2. HEIGHT DATUM, SET OUT BASE POINT/LOCAL GRID TO BE LOCATED ON SITE BY LICENSED SURVEYOR. NEW WORKS TO BE SETOUT FROM LOCAL GRID AND LOCATIONS DOUBLE CHECKED FOR DISCREPANCIES FROM KNOWN FIXED POINTS ON SITE.
- 3. SITE SCRAPE TO AREA OF PROPOSED CONCRETE WORKS TO DEPTH APPROVED BY GEOTECHNICAL ENGINEER.
- 4. CONTRACTOR TO CHECK ALL DIMENSIONS AS SHOWN. ANY DISCREPANCIES OR LACK OF CLARITY SHALL BE INDICATED BY CONTRACTOR TO DESIGNER (CONVIC) FOR CLARIFICATION IN WRITING PRIOR TO WORKS COMMENCING/CONTINUING.
- 5. CONTRACTOR TO ENSURE ALL EXISTING TREES AND EXISTING SITE FEATURES ARE RETAINED AND PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE ON DEMOLITION PLAN.

EARTHWORKS:

- . REFER TO GEOTECHNICAL REPORT NUMBER TERRA19424.REP1.REV0 ON 18/12/19 BY TERRA
- 2. SITE SCRAPE AREA UNDER NEW CONCRETE PAVEMENT TO REMOVE FILL MATERIAL TO A DEPTH OF 500mm AS RECOMMENDED BY GEOTECHNICAL ENGINEER
- 3. STOCK PILE ALL EXCAVATED TOP SOIL FOR RE-USE IN LANDSCAPING ONLY.
- 4. ALL SUBGRADE PREPARATION WORK UNDER ALL CONCRETE PAVEMENT AREAS AND LOW PROFILE RETAINING WALLS ARE TO BE PROTECTED, ROLLED AND COMPACTED AS PER RECOMMENDATIONS SET OUT IN THE GEOTECHNICAL REPORT IN ACCORDANCE WITH AS1289.5.1.1:2003.
- 5. PROOF ROLL TO IDENTIFY ANY SOFT SPOTS FOR FURTHER TREATMENT. 5. INSTALL STABLE CLEAN FILL COMPACTED TO 95 % (SMDD) TO ACHIEVE DESIGN LEVELS. FILL SHALL BE PLACED AND COMPACTED IN LAYERS TO THICKNESS STATED IN GEOTECHNICAL REPORT IN ACCORDANCE WITH AS1289.5.2.1:2003.
- . ALL NEW AND DISTURBED FINISHED EARTH AREAS TO BE NEAT, CLEAN, PRESENTABLE AND EVENLY GRADED TO TIE INTO NATURAL GROUND LEVELS. ALL AREAS OF DISTURBED EARTH TO BE TURFED. EARTH SURFACE SHALL BE GRADED AWAY FROM HARDSCAPE TO ENSURE NO POOLING OF WATER OCCURS AGAINST HARDSCAPE EDGES.

CONCRETE:

- 1. ALL MATERIALS, WORKMANSHIP, HANDLING PLACEMENT SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE SPECIFICATION.
- 2. ALL CONCRETE TO BE 32MPa. LIMIT MOISTURE CONTENT. (UNO)
- 3. REFER TO SHOTCRETE SPECIFICATION FOR SHOTCRETE MIX REQUIREMENTS ALL OTHER CONCRETE SHALL BE N32 MIX WITH MINIMUM 14mm AGGREGATE SIZE. (UNO)
- 4. ENSURE ADEQUATE VIBRATION OF CONCRETE IS ACHIEVED. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
- 5. SLUMP OF CONCRETE 70mm -100mm. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
- 6. CONCRETE THICKNESS (UNO): 150mm THICK RAMPS.
- 130mm PLATFORMS AND FLAT BOTTOMS. 7. PROVIDE EDGE BEAMS OR DOWNTURN WALLS TO APPROPRIATE DEPTH WHERE CONCRETE WORKS
- TERMINATE AGAINST EARTH MOUNDING. 8. CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AS PER DETAILS.
- 9. SAW CUTS TO BE SAWN AS SHOWN ON PLANS. SAW CUT DEPTH TO BE 30MM DEEP. LOCATION OF STEEL REINFORCEMENT SHALL BE MARKED (ON FORM WORK OR SIMILAR) PRIOR TO CONCRETE POUR TO ENABLE ACCURATE POSITIONING OF SAW CUTS. REFER TO 'NOMINAL SAW CUT' DETAIL SAW CUTS TO BE ACCURATE, STRAIGHT AND TRUE. SAW CUT <u>ALL</u> SLABS MAX 24 HRS AFTER POUR.
- 10. ALL CONCRETE SKATE SURFACES (PLATFORMS, BASES, FLAT BANKS, TRANSITIONS ETC) TO HAVE BURNISHED STEEL TROWEL FINISH.
- 11. VERTICAL OFF FORM CONCRETE SURFACES (THAT IS NOT A SKATE SURFACE) SHALL HAVE CLASS 2 OFF FORM FINISH AS PER A.S. 3610 - FORMWORK FOR CONCRETE.
- 12. CONCRETE BLEND ZONE DESCRIBES CHANGE IN GRADE BETWEEN DEFINED SKATE PROFILES. CONCRETE TO BLEND EVENLY, SMOOTHLY AND CONSISTENTLY BETWEEN PROFILES, ENSURE NO KINKS IN CONCRETE 13. FOR CURING, COVER FOR SEVEN DAYS WITH PLASTIC OR APPLY LIQUID MEMBRANE AS PER A.S.
- 3799 LIQUID MEMBRANE-FORMING CURING COMPOUNDS FOR CONCRETE WITHIN 1 HOUR OF CONCRETE FINISHING. 14. ALL EXPOSED CONCRETE SURFACES TO BE APPLIED WITH 'PARCHEM LUSTRESEAL EXTENDED
- WEAR PLUS' OR SIMILAR APPROVED. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION. 15. SOME SURFACE CRACKING TO CONCRETE SLABS IS TO BE EXPECTED AS THE CONCRETE CURES. THIS PROBLEM IS OF NO STRUCTURAL SIGNIFICANCE AND WILL NOT AFFECT THE PERFORMANCE OF THE SLAB. REFER TO A.S.3600 - CONCRETE STRUCTURES AND A.S.2870-1996 - RESIDENTIAL
- SLABS AND FOOTINGS FOR FURTHER INFORMATION. 16. CONCRETE SURFACE TO BE GRADED AS PER PLANS TO ENSURE NO POOLING OF WATER WILL OCCUR ON CONCRETE SURFACE OR AGAINST WALLS, SEATS, SKATE ELEMENTS ETC.
- CONCRETE REINFORCEMENT: 1. REINFORCEMENT SHALL BE GRADE 500 MPa CONFORMING TO AUSTRALIAN STANDARD AS 4671 STEEL REINFORCING.
- 2. CONCRETE COVER 50mm MIN.
- 3. TRIMMER BARS 2xN12x2000 LONG TO ALL INTERNAL SLAB CORNERS. LAYED OUT AS INDICATED ON PLANS. TRIMMER BARS MAY BE BENT TO AVOID CROSSING SAW CUTS.
- 4. FLAT SLABS SL92 MESH OR N12 @ 200 CRS EW (UNO). 5. VERTICAL WALLS - SL92 MESH OR N12 @ 300 CENTERS EW.
- 6. SLOPES (TRANSITIONS, BANKS, ROLLOVERS ETC) SL92 MESH OR N12 @ 300 CENTERS EW.
- 7. ALL REINFORCEMENT SHALL BE HELD RIGIDLY IN POSITION WITHIN THE SPECIFIED TOLERANCES BEFORE AND DURING CONCRETE PLACING WITH APPROVED BAR CHAIRS , NON CORROSIVE BAR CHAIRS SHALL BE USED FOR ALL OFF FORM SURFACES.
- 8. CONDUITS AND OTHER CAST IN ITEMS SHALL BE FABRICATED AND INSTALLED SO THAT NO CUTTING, BENDING OR DISPLACEMENT OF THE REINFORCEMENT FROM ITS PROPER POSITION WILL BE REQUIRED.
- 9 SPLICES SHALL ONLY BE USED AS SHOWN ON THE DRAWINGS OR WHEN BARS LONGER THAN NORMAL STOCK LENGTH WOULD BE REQUIRED. IN LAP SPLICES, THE OVERLAP LENGTH SHALL BE TO THE REQUIREMENTS OF AS 3600 OR AS OTHERWISE DIMENSIONED ON THE DRAWINGS.

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STRUCTU	RAL STE

1.	ALL MATERIAL
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	SPECIFICATION

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3.	ALL ROLL FOR PRODUCTS, GI OTHERWISE, A PROPERTIES, PRODUCED AN ACCORDANCE LOCATIONS AI TO INSTALLAT NOT FLANGES

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DENOTES
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TENSION
8.8/TF
DENOTES
TENSION
4.6/S
DENOTES
SNUG TIG

OTHERWISE NOTED.

- WELDS.
- - FND

	FURNITURE SCHEDULE							
ITEM	NO.	SPECIFICATION	NOTES					
DRINKING FOUNTAIN	INKING JNTAIN X 1 CIVIQ 'AQUAFIL BOLD 850BF' DRINKING FOUNTAIN AND BOTTLE REFILL STATION WITH DRAINAGE PIT REFER TO MANUFACTURER SPECIFI							
RUBBISH BIN	Х2	'GRILLEX HAMILTON BIN ENCLOSURE' DELUXE (240L) SURFACE MOUNT HBE-SC-DEL-001. COLOUR X1 DULUX 'BLACK SG6G9' X1 DULUX 'GOLDEN MARGUERITE A181'	REFER TO MANUFACTURER SPECIFICATION AND DETAILS FOR INSTALLATION.					
CONCRETE SEATING	CONCRETE SEATING 3 CUSTOM CONCRETE SEATING CLADDING.		REFER DETAILS CD301.					
SHELTER	SHELTER X1 CUSTOM SHADE SHELTER. REFER		REFER TO DETAILS CD320.					



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- 7. BOLT DESIGNATION
- IGHT CONDITION
- MINIMUM REQUIREMENTS:

TEEL

AND MEMBER WALLS SHALL BE MINIMUM 5mm THICK (UNO). 2. EXPOSED ENDS OF MEMBERS SHALL BE CAPPED, FULLY WELDED AND GROUND SMOOTH.

3. ALL CONNECTIONS OF STEEL MEMBERS SHALL BE MITRED, FULLY WELDED AND GROUND 4. ALL WELDS SHALL BE 6CFW (UNO)

5. ALL RADIUSED COPING PIECES TO JOIN AT TANGENT POINTS TO ENSURE A SMOOTH AND SEAMLESS JOIN (FREE OF KINKS) BETWEEN ALL COPING.

6. COPING SHALL BE INSTALLED INTO CONCRETE AS DETAILED. 7. ENSURE BLOW HOLES REQUIRED FOR HOT DIP GALVANISING PROCESS ARE ON INTERNAL NON-VISIBLE FACES.

8. ENSURE NO SHARP EDGES ON ANY STEEL WORK.

9.1. SHALL BE 50NB 4.5mm THICK (UNO).

9.2. ALL LENGTH AND RADIUS MEASUREMENTS ARE TAKEN ALONG THE CENTERLINE OF CHS 9.3. WHERE CHS COPING CHANGES GRADE A 3000mm (UNO) RADIUS CHS PIECE MUST BE INSTALLED BETWEEN THE ADJACENT COPING PIECES TO ENSURE A SMOOTH AND SEAMLESS JOIN (FREE OF KINKS) BETWEEN ALL COPING.

ATED STEEL ELEMENTS: FABRICATED OFF SITE. BER SIZES AS DETAILED.

BERS SHALL BE MITRED, FULLY WELDED, ENDS CAPPED, WELDS GROUND SMOOTH, DED AND ENTIRE PIECE HOT DIP GALVANISED AS ONE UNIT. NO ONSITE WELDS ARE ALL REINFORCING IS FABRICATED TO ALLOW MINIMUM 50mm CONCRETE COVER.

ELWORK SHALL HAVE GALVANISED FINISH. ALL STEEL ELEMENTS NOMINATED AS BRICATED' SHALL BE HOT DIP GALVANISED. ALL OTHER STEELWORK SHALL HAVE ETARY DURAGAL COATING.

GALVANISING SHALL BE CARRIED OUT TO COMPLY WITH RELEVANT AUSTRALIAN SITE WELDS OR DAMAGED GALVANISED COATING SHALL BE (PRIOR TO CASTING

ELEMENTS INTO CONCRETE) COATED AS FOLLOWS: URE ALL SURFACE CONTAMINANTS ARE REMOVED AND AREAS TO BE TREATED ARE ST FREE, CLEAN AND DRY. MED WITH "DY-MARK ZINC GAL " OR "DULUX METAL SHIELD COLD GALV PRIMER" ANIC ZINC RICH PRIMER OR SIMILAR APPROVED ZINC PRIMER CONFORMING TO 50.9:2009TYPE 1. APPLIED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. COAT WITH "DY-MARK SILVER GAL" OR SIMILAR APPROVED CONFORMING GAL

TECTIVE COATING IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. S, WORKMANSHIP, FABRICATION AND ERECTION SHALL COMPLY WITH THE

S OF THE RELEVANT AUSTRALIAN STANDARDS AS WELL AS WITH THE PROJECT

2. UNLESS OTHERWISE SHOWN ALL STRUCTURAL STEEL SHALL BE: GRADE 300PLUS FOR UB, UC, WB, WC, PFC, ANGLES, FLATS AND HOT ROLLED PLATES. GRADE 350 FOR RHS, CHS AND SHS.

RMED PURLINS, GIRTS, BRIDGING AND ACCESSORIES SHALL BE BHP BUILDING RADE 450 MINIMUM COMPLYING WITH AS1397 AND AS4600 UNLESS NOTED ALTERNATIVE PRODUCTS CAN ONLY BE USED FOLLOWING SUBMISSION OF SECTION PURLIN CAPACITY CALCULATIONS AND BRIDGING CAPACITY CALCULATIONS. AND DETAILED FOR THIS PROJECT. ALL SECTIONS SHALL BE INSTALLED IN WITH THE MANUFACTURER'S INSTRUCTIONS, WITH PARTICULAR REGARD TO BOLT ND LAP SIZES. ALL WORK SHALL BE COMPLETED IN A WORKMANLIKE MANNER PRIOR TION OF THE CLADDING MATERIAL. ALL HANGERS TO BE HUNG FROM PURLIN WEBS

4. ALL EXPOSED STEELWORK SHALL BE HOT DIP GALVANISED OR OTHERWISE PAINT PROTECTED IN ACCORDANCE WITH AS2312 AS SPECIFIED IN DRAWINGS.

5. GALVANIZED STEELWORK THAT IS SITE WELDED OR SUSTAINS ANY OTHER KIND OF SURFACE DAMAGE IS TO BE PREPARED TO AS 1627:2 CLASS 3 AND PRIMED WITH 2 COATS OF GALVANITE (MANUFACTURED BY JOTUN) TO MANUFACTURERS SPECIFICATION OR SIMILAR APPROVED.

6. ALL STEELWORK BELOW GROUND OR FINISHED SURFACE LEVEL SHALL BE ENCASED IN 75mm MINIMUM CONCRETE ALL ROUND.

> HIGH STRENGTH STRUCTURAL BOLTS OF STRESS GRADE 8.8 TO AS1252 IED TO A SNUG TIGHT CONDITION.

HIGH STRENGTH STRUCTURAL BOLTS OF STRESS GRADE 8.8 TO AS1252 FULLY

NED TO AS4100 AS A BEARING JOINT. HIGH STRENGTH STRUCTURAL BOLTS OF STRESS GRADE 8.8 TO AS1252 FULLY

NED TO AS4100 AS A FRICTION JOINT S COMMERCIAL GRADE BOLTS OF STRESS GRADE 4.6 TO AS1252 TIGHTENED TO A

8. ALL BOLT HOLES SHALL BE 2mm LARGER THAN THE NOMINAL BOLT DIAMETER, UNLESS

ALL WELDS SHALL BE SP (SPECIAL PURPOSE) IN ACCORDANCE WITH AS1554. ALL ELECTRODES SHALL BE CLASS E48. ALL BUTT WELDS SHALL BE FULL STRENGTH COMPLETE PENETRATION

10. UNLESS NOTED OTHERWISE ON THE DRAWINGS, CONNECTIONS SHALL SATISFY THE FOLLOWING - ALL STIFFENER AND CLEAT PLATES TO BE 10mm THICK

- ALL CAP PLATES TO BE 10mm THICK - ALL BASE PLATES TO BE 20mm THICK

- ALL BOLTS TO BE M20 8.8/S, WITH A MINIMUM OF TWO BOLTS PER CONNECTION - PURLIN AND GIRT BOLTS TO BE M12 8.8/S, WITH A MINIMUM OF TWO BOLTS PER MEMBER

- ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS ALL ROUND 11. THE ENDS OF ALL TUBULAR MEMBERS SHALL BE SEALED WITH NOMINAL THICKNESS PLATES AND CONTINUOUS FILLET WELDS UNLESS NOTED OTHERWISE. GALVANISED TUBULAR MEMBERS ARE TO BE PROVIDED WITH THE APPROPRIATE PROVISION FOR VENTING DURING GALVANISING OR

SITE WELDED IN ACCORDANCE WITH NOTE 3.5.

FURNITURE

- 1. ALL PROPRIETARY FURNITURE TO BE INSTALLED AS PER MANUFACTURERS DETAILS.
- 2. ALL INSTALLATION FIXINGS SHALL BE MARINE GRADE 316 STAINLESS STEEL.
- 3. LOCATION OF ALL FURNITURE ITEMS AS SHOWN ON PLANS.
- 4. BIN ENCLOSURES ENSURE DOORS ARE IN EASILY ACCESSIBLE AND FREELY OPENING TO ENTIRE SWING.
- 5. DRINKING FOUNTAINS ENSURE ALL WASTE WATER IS CAPTURED AND DRAINS AS DETAILED. NO WASTE WATER TO FLOW ONTO SKATE SURFACE

DRAINAGE AND PLUMBING: 1. PROVIDE STORMWATER DRAINAGE WORKS TO THE DESIGN REQUIREMENTS AS DOCUMENTED ON THE DRAWINGS AND COMPLYING WITH AS/NZS 3500.3.

- 2. UNLESS OTHERWISE NOTED, PROVIDE AND LAY ALL PIPES WITH EVEN FALLS AT MIN 1:100 GRADE. ALL PIPES TO BE SEWER QUALITY PVC STORMWATER PIPES. TO BE LAID ON A BED OF B GRADE CRUSHED ROCK WITH150mm COVER.
- 3. PROVIDE INSPECTION OPENINGS (IO'S) AT CHANGES OF DIRECTION.
- 4. PROVIDE MIN 100mm DIAMETER SLOTTED AGRICULTURAL DRAINS WHERE SHOWN ON THE DRAWINGS AS PER DETAILS.
- 5. SITE SHOULD BE GRADED AND DRAINED TO ENSURE WATER CANNOT POND AGAINST OR NEAR PAVED AREAS. THE GROUND IMMEDIATELY ADJACENT TO ANY PAVEMENT OR STRUCTURE SHALL BE GRADED AWAY AT MIN 1:100. ENSURE SITE FALLS TOWARDS DRAINS WHERE APPLICABLE.
- 6. ALL LANDSCAPE PITS SHALL BE COMMERCIAL PLASTIC STORMWATER PITS WITH HDG GRATED LIDS (UNO). CONCRETE GROUT PIPE CONNECTION. MORTAR BENCHING TO LOWEST INVERT LEVEL.
- 7. ALL SKATEPARK PITS SHALL BE CAST INSITU AS PER DETAIL (UNO)

APPLIED FINISHES:

DRAWINGS.

- 1. CONCRETE SURFACES TO BE PAINTED:
- 1.1. ENSURE CONCRETE SURFACES HAVE CURED FOR A MINIMUM OF 28 DAYS OR IN ACCORDANCE WITH MATERIAL DATA SHEET. 1.2. NO CONCRETE CURING MEMBRANE IS PERMITTED TO BE APPLIED ON SURFACES TO BE
- PAINTED
- 1.3. PREPARE CONCRETE SURFACES BY ACID ETCHING OR MECHANICAL ABRASION TO ACHIEVE ADEQUATE PAINT ABSORPTION AND PAINT ADHESION.
- 1.4. ENSURE ALL SURFACE CONTAMINANTS ARE REMOVED AND AREAS TO BE PAINTED ARE CLEAN AND DRY.
- 1.5. APPLY DULUX PRIMER 'DUREBILD STE PC237' TO MANUFACTURE'S SPECIFICATION AND
- ALLOW TO DRY. 1.6. APPLY MINIMUM 2 COATS OF DULUX 'WEATHERMAX HBR TWO PACK' PAINT TO ACHIEVE
- UNIFORM COLOUR AND COVERAGE. COLOUR AS SPECIFIED ON DRAWINGS. 1.7. ONCE PAINT HAS TO MANUFACTURER'S SPECIFICATIONS, APPLY CONCRETE SEALER OVER THE TOP OF PAINTED AREAS. REFER TO CONCRETE SEALER NOTE.
- 2. GALVANISED STEEL WORK TO BE PAINTED 2.1. SURFACE PREPARATION IS CRITICAL TO THE DURABILITY OF THE PAINT, ALL GALVANISED STEEL WORK TO BE PAINTED SHALL BE PREPARED WITH POWER TOOL CLEANING/SANDING AS PER DULUX SPECIFICATION ENSURING ALL SURFACE CONTAMINANTS ARE REMOVED AND AREAS TO BE PAINTED ARE CLEAN AND DRY. 1.2. APPLY TWO COATS OF DULUX DUREMAX GPE ZP AS PER MANUFACTURER'S
- SPECIFICATIONS 1.3. APPLY TOP COAT OF DULUX WEATHERMAX HBR TWO PACK GLOSS TO MANUFACTURER'S SPECIFICATION ACHIEVING UNIFORM COLOUR AND COVERAGE. COLOUR AS SPECIFIED ON

SKATE PARK WORKS TOLERANCES TO COMPLY WITH THE FOLLOWING TOLERANCES. ANY ITEMS CONSTRUCTED OUTSIDE OF TOLERANCES SHALL BE RECTIFIED TO SUPERINTENDENT'S APPROVAL.

- 1. SAW CUTS NOMINATED WIDTH OF SAW CUT IS 4MM +/- 1MM. DEPTH AS NOMINATED WITHIN CONCRETE GENERAL NOTES. CONCRETE SLABS/OBSTACLES.
- 2. CONSTRUCTION JOINTS OTHERWISE APPROVED BY SUPERINTENDENT.
- 3. CONCRETE CRACKS AND FOOTING CODE AS2870
- 4. STEPPING IN CONCRETE SURFACE FSL DEVIATION BETWEEN CONSTRUCTION JOINTS SHALL HAVE A MAXIMUM ALLOWABLE TOLERANCE OF +/- 0.50MM

5. COPING

- AND AS DETAILED. MAXIMUM ALLOWABLE DEVIATION OF 1MM OVER 3M LENGTH. FINISHING OF CONCRETE EDGE ADJACENT ALL COPINGS SHALL BE MICRO TOOLED WITH 6MM +/-1MM RADIUS
- 6. STEEL SKATE OBSTACLES & GRIND RAILS DRAWINGS WITH A MAXIMUM HEIGHT DEVIATION OF +/- 10MM PERMISSIBLE. VERTICAL INSTALLATION SHALL COMPLY WITH A MAXIMUM PERMISSIBLE +/- 2 DEGREE ALLOWANCE
- 7. POOL COPING:

POOL COPING SHALL BE INSTALLED TO THE FOLLOWING TOLERANCES; MAXIMUM VERTICAL STEP BETWEEN POOL COPING BLOCKS IS +/-1MM. JOINTS BETWEEN POOL COPING SHALL BE 3.0MM +/-1MM.

8. CONCRETE SURFACE FINISH:

SKATE AREA FINISH: SHALL BE INSTALLED WITH A BURNISHED STEEL FLOAT FINISH IN ACCORDANCE WITH CCAA SPECIFICATION OF BURNISHED CONCRETE FINISH DATA SHEET TO ENSURE SURFACE HAS BEEN DENSIFIED AND HARDENED BY NATURE OF TROWELLING PROCESS . CONCRETE SURFACE SHALL TAKE ON A FLAT POLISHED FINISH FREE FROM TROWEL MARKS PRIOR TO CURING

FORMED FINISH: SURFACES NOMINATED AS OFF-FORM CONCRETE SURFACES SHALL HAVE CLASS 2 OFF-FORM FINISH AS PER AS 3610 - FORMWORK FOR CONCRETE.

FLATNESS (APPLIES TO FORMED AND 'SKATE AREA' FINISHES: ALL CONCRETE SURFACES SHALL MEET THE FOLLOWING FLATNESS TOLERANCE. MAXIMUM DEVIATION OVER 3M STRAIGHT EDGE, DEFINED RADIUS OR FREE FORM SHAPE SHALL NOT EXCEED 3MM.

GRADING GRADE ALL CONCRETE SURFACES EVENLY AND CONSISTENTLY AS PER DOCUMENTATION TO PREVENT ANY WATER PONDING.

DRAWN	SCALE	NORTH POINT				PROJECT
AC		Γ				BAY AND BASIN SKATE
CHECKED						BAY AND BASIN LEISURE CENTRE
MP						
DIRECTOR			В	FOR CONSTRUCTION	26.04.21	GENERAL NOTES
BH			A	DRAFT DETAILED DESIGN ISSUE	31.03.21	

AREAS NOMINATED AS 'SKATEPARK AREA' SHALL BE BUILT TO STRICT TOLERANCES TO ENSURE SAFETY AND FUNCTIONALITY FOR FACILITY USERS. SKATEPARK WORKS SHALL BE CARRIED OUT

LOCATION OF SAW CUTS ARE SHOWN ON SAWCUT PLAN WITH AN ALLOWABLE DEVIATION TOLERANCE OF +/- 50MM GENERALLY AND WITHIN +/-10MM WHERE CUTS MEET CORNERS OF

CONSTRUCTION JOINTS HAVE BEEN DESIGNED AND LOCATED TO MITIGATE SHRINKAGE AND MOVEMENT CRACKING. LOCATION OF CONSTRUCTION JOINTS FALL WITHIN +/- 50MM UNLESS

MAXIMUM ALLOWABLE CRACK WIDTH IS 1.5MM AND IN ACCORDANCE WITH RESIDENTIAL SLABS

COPING OFFSETS SHALL BE INSTALLED TO A MAXIMUM ALLOWABLE TOLERANCE OF +/- 2MM COPING OFFSET SHALL BE CONSISTENT ALONG LONGITUDINAL LENGTH OF COPING WITH

STEEL SKATE OBSTACLES & GRIND RAILS BE INSTALLED AS PER DIMENSIONS SPECIFIED ON

FOR CONSTRUCTION

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PARK























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DRAWN	SCALE	NORTH POINT			PROJECT
AC					BAY AND BASIN SKATE
CHECKED	SCALE 1:50 @ A1				BAY AND BASIN LEISURE CENTRE
MP					
DIRECTOR	LENGTHS ARE IN METRES	В	FOR CONSTRUCTION	26.04.21	SECTIONS 01
BH		A	DRAFT DETAILED DESIGN ISSUE	31.03.21	020110110 01



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RAIL END TO HAVE A 15MM ROUNDED MITERED EDGE
 5MM THICKNESS OF STEEL IS MAINTAINED

DRAWN	SCALE	NORTH POINT			PROJECT
AC					BAY AND BASIN SKATE
CHECKED	SCALE 1:50 @ A1 0.5 0 0.5 1 1.5 2 2.5				BAY AND BASIN LEISURE CENTRE
MP	LENGTHS ARE IN METRES				DRAWING TITLE
DIRECTOR		В	FOR CONSTRUCTION	26.04.21	SECTIONS 02
BH		А	DRAFT DETAILED DESIGN ISSUE	31.03.21	020110110 02

E PARK





DRAWN	SCALE	NORTH POINT				PROJECT
AC						BAY AND BASIN SKATE
CHECKED	AS SHOWN					BAY AND BASIN LEISURE CENTRE
MP						
DIRECTOR	LENGTHS ARE IN METRES	В	3	FOR CONSTRUCTION	27.04.21	DETAILS 01
BH		A	4	DRAFT DETAILED DESIGN ISSUE	19.03.21	DETAILS OF



SUB-BASE.

SOIL AND CONNECT INTO PIT. GRADE PIPE TOWARD PIT.

SCALE 1:5

900 SOCKED AGI PIPE CLASS 14mm NO FINES REFER TO 'SKATEPARK 400 TO RUN UNDERNEATH AGGREGATE - FLAT SLAB' DETAIL SKATE SLAB AND CONNECT INTO PIT. GRADE PIPE TOWARD PIT. -AGI PIPE TO DISCHARGE SUB-BASE. REFER TO INTO PIT. REFER TO GENERAL NOTES. DRAINAGE PLAN. 300 SKATEPARK - SUBSOIL DRAINAGE AT RAMP TOE SCALE 1:10 SECTION

> 90Ø SOCKED AGI PIPE CLASS 14mm NO FINES REFER TO 'SKATEPARK 400 TO RUN UNDERNEATH TOP AGGREGATE - FLAT SLAB' DETAIL

> >

AGI PIPE TO DISCHARGE

____ <u>___</u> ____ SCALE 1:10

4 ⁴ ⁴ ⁴ ⁴ SUB-BASE. REFER TO GENERAL NOTES. 300 SKATEPARK - RAMP TOE SCALE 1:10 15mm RADIUS TO BOTH GRANITE EDGES. PROVIDE N12 BARS AT 400 CTS. TO GRANITE BLOCK. EPOXY GROUTED INTO 100 DEEP HOLE. DRILLED USING Ø14mm BIT. ENSURE BARS ARE ONLY FIXED TO ONE SIDE OF PLATFORM CONSTRUCTION JOINT. - REFER TO NOMINAL SKATE RAMP 4 . A . A . A SLAB

- SLEEVE CAST INTO FIRST POURED SLAB.

450 LONG R12 BARS @ 300 CTS. (IN SLEEVE) OR

450 LONG R16 BARS @ 700 CTS. (IN SLEEVE).

DIAMOND DOWELS @ 450 CTS. OR

REFER TO 'NOMINAL SKATE

FLAT SLAB' DETAIL



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WAT DVER.	AND PL/		HOLE IN BAS USING 14mm MESH IN BLC	SE SLAB, DRILLED Ø BIT. TIED TO DCK.	I
T AL 1:100 JRFACE			PROVIDE 25 AROUND PE BASE OF BL	mm FILLET RIMETER OF OCK	
MIN.					
 THICKENING I FOR STARTEF MIN. EMBEDM	REQUIRED R BARS 110 IENT.	 MIN. 50 CRUSHER D OR APPROVED BED	UST R DING S D	 EFER TO NOMINA KATE FLAT SLAB ETAIL	،L
SLAB					
				SCALE 1	:10

NOTE REFE	E R TO GENERAL NOTES FOR INSTALI
INSTA 1) 2)	ALLATION GUIDELINES FOR POOL CO SCABBLE SURFACE AND PRESSUR APPLY PUREX, DAVCO'S ULTRAPR
3)	ON EACH DAY. PRIMER WILL DRY V APPLY LEVELING COAT (NO GREAT DAVCO'S SMP 2010 MIXED WITH PA
4)	APPLY THE ULTRAPRIME TO THE L
5)	AFTER THE PRIMER HAS DRIED, AF
6) 7)	MAKE SURE THE BACK OF THE GR. APPLY A SKIM COAT OF THE SMP.
8) 9)	WORK THE COPING TILES WELL INT GROUT FRONT EDGE (30MM RADIU
10)	'KNEAD-IT STEEL' FOR HARD WEAF GAPS BETWEEN BLOCKS FILLED W
11)	CLEAN EXCESS MORTAR FROM AL CONCRETE SURFACES IMMEDIATE FINISH. RECTIFICATION SHALL BE UNACCEPTABLE FINISH

DRAWN	SCALE	NORTH POINT				PROJECT
AC						BAY AND BASIN SKATE
CHECKED	AS SHOWN					BAY AND BASIN LEISURE CENTRE
MP						
DIRECTOR	LENGTHS ARE IN METRES	В	FOR C	ONSTRUCTION	26.04.21	DETAILS 02
BH		А	DRAFT	DETAILED DESIGN ISSUE	31.03.21	

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D PLAN

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- 4-M20 8.8/s BOLTS DRILLED AND CHEMSET '801' TO PAD FOOTING.

20mm THICK BASEPLATE, 6CFW ALL AROUND TO COLUMN, ON 20mm LEVELING NON-SHRINK GROUT.

MIN 150mm EMBEDMENT,

- COLUMN.

SCALE 1:10

MIN 260mm BOLT SPACING

DRAWN	SCALE	NORTH POINT				PROJECT
AC						BAY AND BASIN SKATE
CHECKED	AS SHOWN					BAY AND BASIN LEISURE CENTRE
MP						
DIRECTOR	LENGTHS ARE IN METRES	В	В	FOR CONSTRUCTION	26.04.21	SHELTER
BH		A	A	DRAFT DETAILED DESIGN ISSUE	31.03.21	

CHEDULE						
QUANTITY	FINISH					
2	HDG AND PAINTED YELLOW REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'GOLDEN MARGURITE A181'					
2	HDG AND PAINTED YELLOW REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'GOLDEN MARGURITE A181'					
8	HDG AND PAINTED BLACK REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'BLACK SG6G9'					
1	COLORBOND 'MONUMENT'.					
	FOR CONSTRUCTION					
PARK	DRAWING NUMBER REV					

CHEDULE	
QUANTITY	FINISH
2	HDG AND PAINTED YELLOW REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'GOLDEN MARGURITE A181'
2	HDG AND PAINTED YELLOW REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'GOLDEN MARGURITE A181'
8	HDG AND PAINTED BLACK REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'BLACK SG6G9'
1	COLORBOND 'MONUMENT'.
FOR CONSTRUCTION	
PARK	DRAWING NUMBER REV