

**REVIEW OF ENVIRONMENTAL FACTORS (REF)
PROPOSED SKATE PARK
BAY AND BASIN LEISURE CENTRE
THE WOOL ROAD, VINCENTIA**

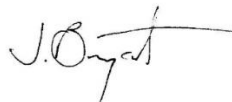
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Document control

Item	Details
Project	Proposed Skate Park – Bay and Basin Leisure Centre
Client/Proponent	City Lifestyles, Shoalhaven City Council
Prepared By	City Services, Shoalhaven City Council

Document status

Version	Author / Reviewer*	Name	Signed	Date
V1.0	Author	Geoff Young		18/05/2023
	Reviewer	Jeff Bryant		25/05/2023

*Review and endorsement statement:

“I certify that I have reviewed and endorsed the contents of this REF document and, to the best of my knowledge, it is in accordance with the EP&A Act, the EP&A Regulation and the Guidelines approved under clause 170 of the EP&A Regulation, and the information it contains is neither false nor misleading”.

Assessment and approvals overview

Item	Details
Assessment type	Division 5.1 (EP&A Act) - Review of Environmental Factors (REF)
Proponent	Shoalhaven City Council
Determining authority / authorities	Shoalhaven City Council
Required approvals (consents, licences and permits)	No
Required publication	Yes – as per Section 171(4)(c) of the NSW <i>Environmental Planning and Assessment Regulation 2021</i>

1. PROPOSAL AND LOCATION

1.1 Overview and background

The proposed activity is the construction of a skate park within the grounds of the Bay and Basin Leisure Centre, The Wool Road, Vincentia.

The initial site of the proposed skate park was the undeveloped heathland to the south of the Bay and Basin Aquatic Centre carpark. However, after a review of the environmental, legal and planning constraints associated with this site (documented in D19/72225), the proposal was moved to the existing cleared and filled land immediately to the south of the Aquatic Centre (Figure 1 p.5). The new proposed site has been previously cleared and filled for the purposes of the Bay and Basin Leisure Centre approved under Development Consent DA98/1299. Unlike the initial proposed location, the new location is not encumbered by any conditions of the consent.

The works would involve the following:

- site establishment
- earthworks
- drainage works
- importation and storage of base materials
- construction of the facility.

Plans are provided in Appendix A with a summary provided in Figure 2 (p.6).

No clearing of native vegetation is required.

Works would also involve the implementation of safeguards and mitigation measures prescribed in Section 7 of this Review of Environmental Factors (REF).

Shoalhaven City Council (SCC) is the proponent and the determining authority under Part 5 of the EP&A Act. The environmental assessment of the proposed activity and associated environmental impacts has been undertaken in the context of Clause 171 of the *Environmental Planning and Assessment Regulation 2021*. In doing so, this REF helps to fulfil the requirements of Section 5.5 of the Act that SCC examine and take into account to the fullest extent possible, all matters affecting or likely to affect the environment by reason of the activity.

1.2 Location

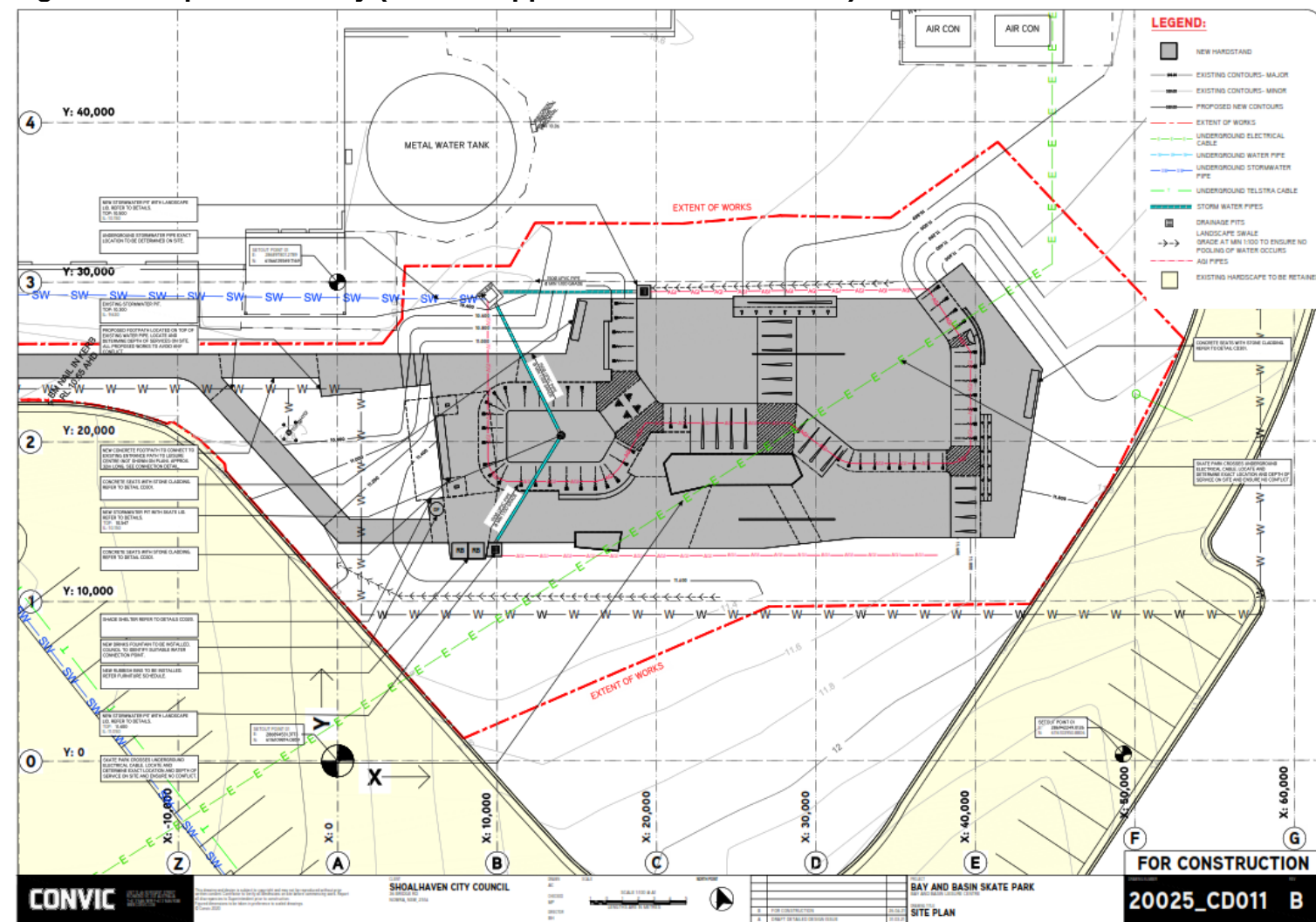
The current proposed location of skate park is on a cleared site immediately to the south of the Bay and Basin Aquatic Centre, Vincentia (Figure 1p.5). Details of the property are summarised below:

- Lot 51 DP 862697, 167A The Wool Road, Vincentia, Parish of Bherwerre
- Owned by Shoalhaven City Council in freehold title
- Classified as Operational Land under the *Local Government Act 1993*

Figure 1 Location of the proposed activity



Figure 2: Proposed activity (refer to Appendix A for more detail)



2. EXISTING ENVIRONMENT

The skate park would be located within the Bay and Basin Leisure Centre located at 167A The Wool Road, Vincentia. The proposed activity site consists of a triangular shaped, flat, grassed area of the southern side of the Bay and Basin Leisure Centre. The area is generally denuded of native vegetation and is utilised as overflow car parking, although no parking infrastructure has been provided.

The site is surrounded by pavement to the south-east and south-west. The pavement has kerb and gutter around its edges and is mainly used for parking and the movement of vehicle traffic.

The geology sheet indicates the site is underlain by Snapper Point Formation of the Shoalhaven Group, with a lithology consisting of sandstone, pebbly sandstone, and minor siltstone. The Wandrawandian Formation is mapped nearby with an undefined boundary, the formation consists of silty sandstone, mudstone and siltstone (Terra Insight 2019). The site is underlain by the following (Terra Insight 2019):

- Fill material of variable composition including silty sands, sandy clays, clayey sands and silty clays of low plasticity, and variable consistency (dense to very dense or stiff to very stiff with some firm zones) to depths between 1.2 and two metres
- Residual soils underneath the fill material which comprises of silty clays of low to medium plasticity and stiff to very stiff consistency, that graded into weathered material at depths below two metres.

The variability of the fill material indicates that the fill was likely to have been placed in an uncontrolled manner.

The site was cleared and filled for the purposes of the Bay and Basin Leisure Centre approved under Development Consent DA98/1299. Unlike the initial proposed location of the skate park, the new location is not encumbered by any conditions of the consent.

In the context of this environmental assessment the area to be affected by the proposed activity:

- is zoned SP2 *Community Facility* under the Shoalhaven Local Environmental Plan 2014 (SLEP 2014) and is unaffected by Scenic Protection, Riparian Lands, and Terrestrial Biodiversity clauses.
- is not mapped as risk for acid sulfate soils
- is not subject to undetermined Aboriginal Land Claims.
- is not mapped on the Biodiversity Values Map which identifies land with high biodiversity value as defined by the NSW *Biodiversity Conservation Regulation 2017*

- is not an Aboriginal Place in the context of the NSW *National Parks and Wildlife Act 1974*.
- is not mapped as contaminated or potentially contaminated land.

All stormwater from the skatepark would be directed into existing stormwater system.

Photos of the site are provided below.



Photo 1: Site of the proposed skate park



Photo 2: Site of the proposed skate park

3. ASSESSMENT OF LIKELY IMPACTS ON THE ENVIRONMENT

3.1 Threatened species impact assessment (NSW)

Section 1.7 of the EP&A Act 1979 applies the provisions of Part 7 of the NSW *Biodiversity Conservation Act 2016* and Part 7A of the *NSW Fisheries Management Act 1994* that relate to the operation of the Act in connection with the terrestrial and aquatic environment. Each are addressed below.

3.1.1 Part 7A Fisheries Management Act 1994

Part 7A relates to threatened species conservation. As the proposed activity would not affect key fish habitat or aquatic and marine environments, this part of the Act is not relevant and further assessment and consideration is not necessary.

3.1.2 Part 7 Biodiversity Conservation Act 2016

Section 7.3 of the Act provides a 'five-part' test to determine whether a proposed development or activity is likely to significantly affect threatened species or ecological communities, or their habitats.

As the site has been cleared, filled, denuded of vegetation, and utilised as an informal car park the occurrence of threatened species is highly unlikely. There is also no habitat for threatened species or ecological communities and native vegetation is unlikely to be indirectly impacted e.g. through changes in hydrology. As such, a five-part test is not warranted.

3.2 Indigenous heritage

Under Section 86 of the NSW *National Parks and Wildlife Act 1974* (NPW Act) it is an offence to disturb, damage, or destroy any Aboriginal object without an Aboriginal Heritage Impact Permit (AHIP). The Act, however, provides that if a person who exercises 'due diligence' in determining that their actions will not harm Aboriginal objects has a defence against prosecution if they later unknowingly harm an object without an AHIP (Section 87(2) of the Act). To effect this, the NSW Department of Environment, Climate Change and Water (now the NSW Department of Planning, Industry and Environment) have prepared the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* (hereafter referred to as the 'Due Diligence Guidelines') to assist individuals and organisations to exercise due diligence when carrying out activities that may harm Aboriginal objects and to determine whether they should apply for an AHIP.

In accordance with the Due Diligence Guidelines (DECCW 2010), a search on the Aboriginal Heritage Information Management System (AHIMS) indicated that no known Aboriginal heritage site exists in proximity to the proposed skate park (see Figure 3 below).

An archaeological assessment for the Leisure Centre Complex was conducted in 1997 (In-Site Heritage Management 1997). This assessment included an on-site survey of the area now proposed for the skate park. Although artefacts comprising three stone artefacts were recorded [REDACTED] nothing was found in the skate park area.

An archaeological monitoring program was also undertaken after vegetation clearing works for the Bay and Basin Leisure Centre (Navin Officer 1999). The results were reported as:

“No archaeological material was found within the boundaries of the construction area.

As post-vegetation clearance visibility was found to be generally excellent across the area, this result is taken to be an accurate reflection of the archaeological sensitivity of the subject land, that is, very little or no archaeological material may be said to occur in the area. The paucity of archaeological remains on the site may be an indication of the area’s unsuitability for substantial Aboriginal occupation (such as camping) possibly due to the frequent waterlogging of local soils.”

The skate park area is also not in an area that, according to Step 2 of the Due Diligence Guidelines, have a high propensity for artefacts, *i.e.* the site is:

- more than 200 metres of waters
- not located within a sand dune system
- not located on a ridge line or headland
- not located within 200 metres below or above a cliff face
- not located with 20 metres of or in a cave, rock shelter, or a cave mouth.

The site also has been significantly disturbed through clearing and filling works associated with the construction of the Leisure Centre (Terra Insights 2019).

As there are no recorded sites and as the area that would be impacted by the proposal does not have a high propensity for artefacts, the Due Diligence Guidelines requires no further assessment as it is reasonable to conclude that there is a low probability of objects occurring in the area. An Aboriginal Heritage Impact Permit (AHIP) is not required, and the work can proceed.

Figure 3 Results of AHIMS Aboriginal heritage search

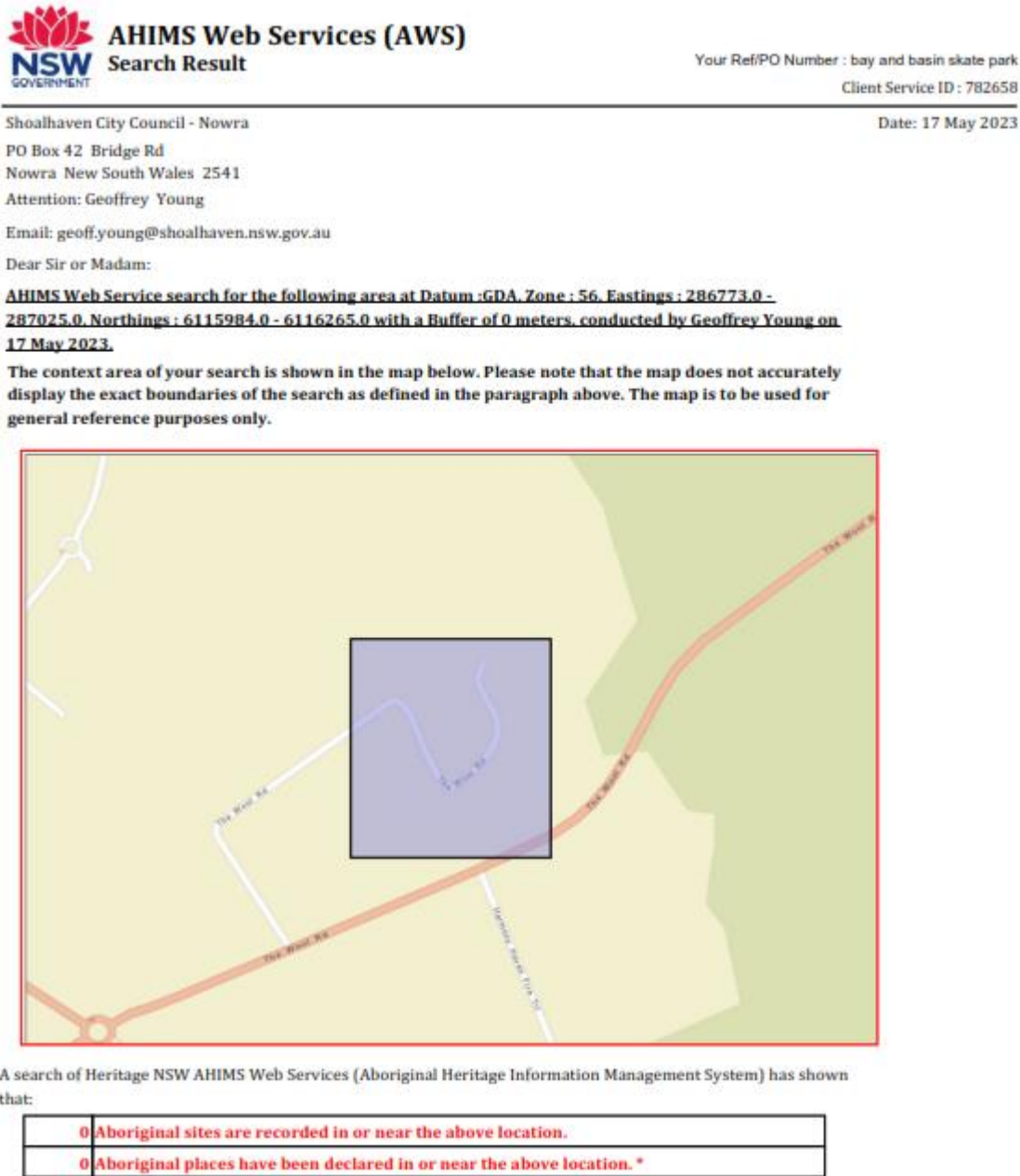
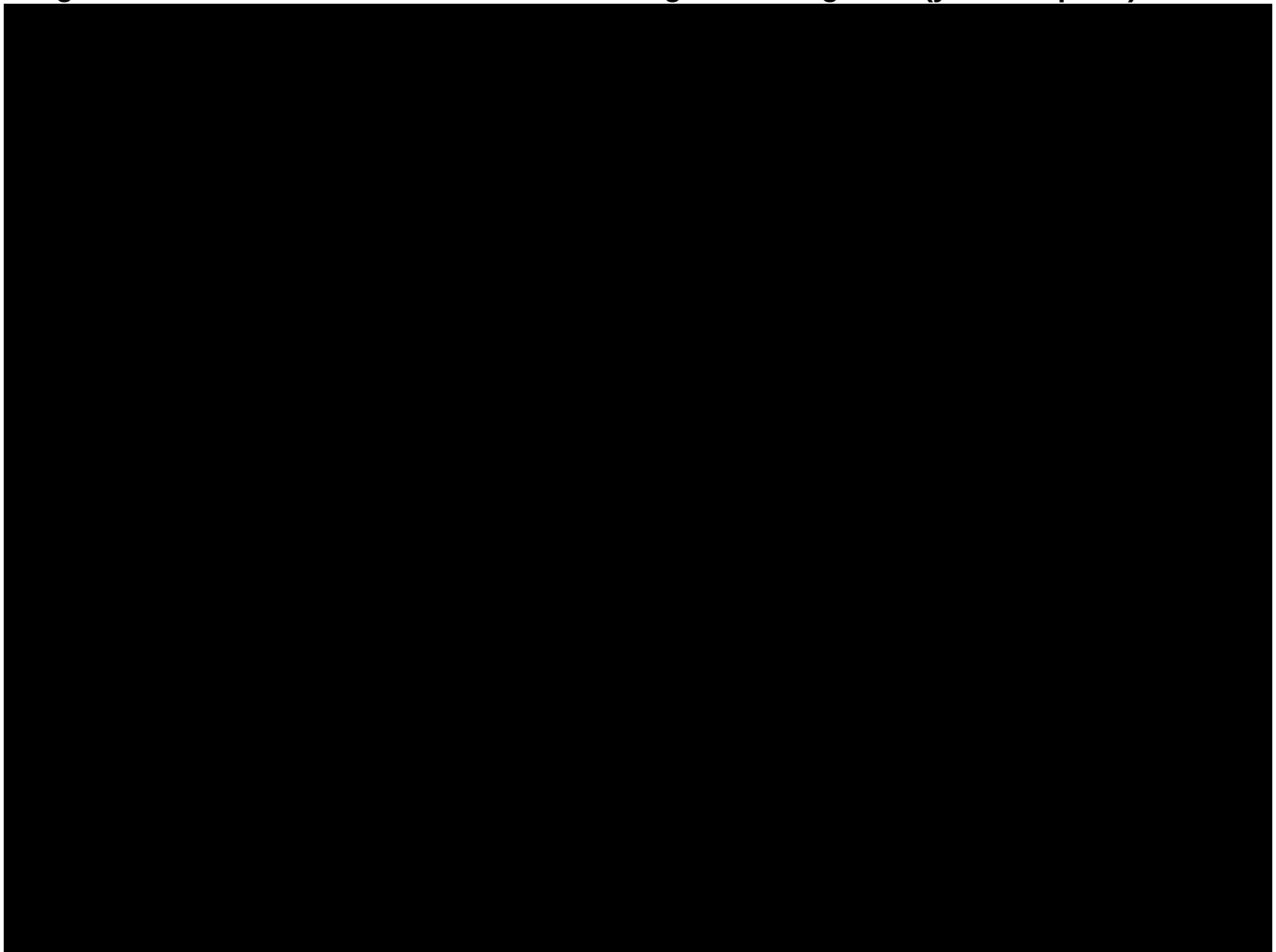


Figure 4 Location or closest known Aboriginal heritage site (yellow square)



3.3 Non-indigenous heritage

No items of local heritage significance or any items on the State Heritage Register or listed in the Shoalhaven Local Environmental Plan occur near the site such that the proposed works might impact them. No further consideration is required.

3.4 EP&A Regulation – Clause 171 matters of consideration

Clause 171(2) of the *Environmental Planning and Assessment Regulation 2021* lists the factors to be taken into account when consideration is being given to the likely impact of an activity on the environment under Part 5 of the EP&A Act. The following assessment in Table 1 below deals with each of the factors in relation to the proposed activity.

Table 1 Section 171(2) Factors

Does the proposal:	Assessment	Reason
a) Have any environmental	Low adverse short term	There may be short traffic disruptions and reduced car park availability during construction.

Does the proposal:	Assessment	Reason
impact on a community?	Positive – long term	The informal car-parking occurring on the site would be reduced but this was never planned for car-parking and is utilised even when car-parking space is available. The new skate park would benefit the Bay and Basin community by increasing the opportunities for this recreational pursuit. There is demonstrated overall support for a skate park in the area (refer to Section 6). The proposed activity would not impact views, community services and infrastructure such as water, waste management, educational, medical or social services.
b) Cause any transformation of a locality?	Low	The proposal will transform a cleared area currently utilised for informal car-parking into a skate park generally comprising concrete bowls, ramps and steel rails. The locality is characterised by sporting and leisure facilities surrounded by bushland. The proposal, being a sporting/leisure facility, would complement the locality.
c) Have any environmental impact on the ecosystem of the locality?	Negligible	The site consists of cleared and filled land, denuded of vegetation and utilised for informal car-parking. Ecosystem values of the proposed activity site are very limited so the impact of the proposal would be negligible.
d) Cause a diminution of the aesthetic, recreational, scientific or other environmental quality or value of a locality?	Positive (recreation) negligible (for remaining factors)	The proposed activity would improve the recreational value of the locality as it will be a skate park upon completion. The proposed activity site is not considered to have significant aesthetic qualities. It is not viewed from scenic lookouts nor does it provide visual privacy for residential areas. The proposal would also maintain a bushland corridor between the development and The Wool Road, to maintain a screen and a bushland background. The site has no known significant or other environmental qualities or values.
e) Have any effect on a locality, place or building having aesthetic, anthropological,	Negligible	The proposed activity does not affect a site listed on the State Heritage List or a site listed in the heritage schedules of the SLEP 2014. Underground 'relics' (as defined in the NSW Heritage Act) are also not anticipated.

Does the proposal:	Assessment	Reason
archaeological, architectural, cultural, historical, scientific, or social significance or other special value for present or future generations?		The site is not within an Aboriginal Place declared under the <i>National Parks and Wildlife Act 1974</i> . As demonstrated in Section 3.2 of this REF, it is reasonable to conclude that there is a low probability of Aboriginal objects occurring in the activity area.
f) Have any impact on the habitat of protected fauna (within the meaning of the Biodiversity Conservation Act 2016)?	Negligible	The site of the proposed skate park has been denuded of vegetation since the construction of the Leisure Centre. Therefore, there would be no impact of fauna habitat.
g) Cause any endangering of any species of animal, plant or other form of life, whether living on land, in water or in the air?	Negligible	There are no species likely to rely on the site of the proposed works to the extent that modification would put them further in danger.
h) Have any long-term effects on the environment?	Low adverse	The works would be relatively short term and the noise generated will occur during normal working hours. There are no sensitive receivers in the vicinity of the proposed works. In the long-term, the area will stabilise and long-term effects from the works are considered unlikely. The proposed activity would not use hazardous substances or use or generate chemicals which may build up residues in the environment.
i) Cause any degradation of the quality of the environment?	Low-adverse	Aquatic ecosystems are not likely to be significantly affected by the proposed activity and there is not likely to be any long-term or long-lasting impact through the input of sediment and nutrient into the ecosystem. The proposal would not intentionally introduce noxious weeds, vermin, or feral animals into the area or contaminate the soil. Environmental safeguards and mitigation measures (Section 7) would be employed to minimise risk of impacts.
j) Cause any risk to the safety of the environment?	Negligible	The proposed activity would not involve hazardous wastes and would not lead to increased bushfire or landslip risks.

Does the proposal:	Assessment	Reason
		The activity is not anticipated to adversely affect flood behaviour or exacerbate flooding risks.
k) Cause any reduction in the range of beneficial uses of the environment?	Positive	Apart from being an informal car park, the proposed activity site has no beneficial use. The use of the site will inherently increase if developed as a skate park.
l) Cause any pollution of the environment?	Low adverse	The proposal would involve an increase in noise during the construction phase due to the use of machinery. However, this would not affect any sensitive receivers such as schools, childcare centres and hospitals. The activity is not expected to result in the oxidation of acid sulphate soils and subsequent leaching back into the waterways. It is unlikely that the activity (including the environmental impact mitigation measures listed in Section Error! Reference source not found. of this REF) would result in water or air pollution, spillages, dust, odours, vibration or radiation. The proposal does not involve the use, storage or transportation of hazardous substances or the use or generation of chemicals which may build up residues in the environment.
m) Have any environmental problems associated with the disposal of waste?	Negligible	The waste that would be disposed off-site can be recycled or re-used in accordance with resource recovery exemptions or taken to a licensed waste facility. There would be no trackable waste, hazardous waste, liquid waste, or restricted solid waste as described in the NSW <i>Protection of the Environment Operations Act 1997</i>.
n) Cause any increased demands on resources (natural or otherwise) which are, or are likely to become, in short supply?	Negligible	The amount of resources that would be used are not considered significant and would not increase demands on current resources such that they would become in short supply.

Does the proposal:	Assessment	Reason
o) Have any cumulative environmental effect with other existing or likely future activities?	Negligible	Previous developments in the vicinity such as the Stockland residential and commercial development, Bay and Bay Leisure Centre, sporting fields, and the entrance road have reduced the habitat of threatened species to the extent that each required a species impact statement (SIS). The current proposal, however, would not further reduce habitat for the threatened species as the site has been cleared, denuded of vegetation and used as informal car-parking since the construction of the Leisure Centre in 1999. The assessed low adverse or negligible impacts of the proposal are not likely to interact. Mitigation measures (Section 7) shall be implemented to minimise the risk of cumulative environmental effects.
p) Any impact on coastal processes and coastal hazards, including those under projected climate change conditions	Negligible	The proposed activity would have no effect on coastal processes including those projected under climate change conditions.
q) applicable local strategic planning statements, regional strategic plans or district plans made under the Act, Division 3.1	Positive	The proposed activity is consistent with the <i>Shoalhaven 2040 Strategic Land-use Planning Statement</i>, including Planning Priority 2 <i>Delivering infrastructure</i> and Planning Priority 7 <i>Promoting a responsible visitor economy</i> https://doc.shoalhaven.nsw.gov.au/displaydoc.aspx?record=D20/437277. The activity is not inconsistent with the Illawarra Shoalhaven Regional Plan 2041 https://www.planning.nsw.gov.au/-/media/Files/DPE/Plans-and-policies/Plans-for-your-area/Regional-plans/Illawarra-Shoalhaven-Regional-Plan-05-21.pdf and does not impact any areas mapped in the Planning Statement as “high environmental value” or “habitat corridor”.
r) other relevant environmental factors	n/a	Environmental factors have been addressed in Section 3 of this REF.

4. PERMISSIBILITY AND APPROVALS PATHWAY

4.1 Environmental Planning & Assessment Act 1979

Section 4.1 (Development that does not need consent) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) states that:

“If an environmental planning instrument provides that specified development may be carried out without the need for development consent, a person may carry the development out, in accordance with the instrument, on land to which the provision applies.”

In this regard, Section 2.67 of the *State Environmental Planning Policy (Transport and Infrastructure) 2007* (hereafter referred to as the Transport and Infrastructure SEPP) provides that, within Operational Land, “Development for any purpose referred to in section 2.73(3) may be carried out without consent on operational land by or on behalf of a council”. Section 2.73(3) includes “recreation facilities (outdoor)” as shown below:

- (3) Any of the following development may be carried out by or on behalf of a public authority without consent on land owned or controlled by the public authority—
- (a) development for any of the following purposes—
- (i) roads, pedestrian pathways, cycleways, single storey car parks, ticketing facilities, viewing platforms and pedestrian bridges,
- (ii) recreation areas and recreation facilities (outdoor), but not including grandstands,

Under the Standard Instrument and the Shoalhaven Local Environmental Plan 2014 (SLEP 2014) “recreation facilities (outdoor)” includes skate board facilities and “any other building or place or a like character used for outdoor recreation...”

recreation facility (outdoor) means a building or place (other than a recreation area) used predominantly for outdoor recreation, whether or not operated for the purposes of gain, including a golf course, golf driving range, mini-golf centre, tennis court, paint-ball centre, lawn bowling green, outdoor swimming pool, equestrian centre, skate board ramp, go-kart track, rifle range, water-ski centre or any other building or place of a like character used for outdoor recreation (including any ancillary buildings), but does not include an entertainment facility or a recreation facility (major).

As the proposed activity does not require development consent, and as it constitutes an ‘activity’ for the purposes of Part 5 of the EP&A Act, being carried out by (or on behalf of) a public authority, environmental assessment under Part 5 of the EP&A Act is required. This REF provides this assessment.

4.2 Other

A summary of other relevant legislation and permissibility is provided in Table 2 below.

Table 2: Summary of other relevant legislation and permissibility

NSW STATE LEGISLATION	
<i>Environmental Planning and Assessment Act 1979 (EP&A Act)</i>	
Permissible	√ Not permissible ☐
Justification:	
The Transport and Infrastructure SEPP provides for the proposed works to be undertaken without development consent (refer above). In circumstances where development consent is not required, the environmental assessment provisions outlined in Part 5 of the Act are required to be complied with. This REF fulfils this requirement.	

State Environmental Planning Policy (Hazards and Resilience) 2021

Permissible ☒ Not permissible ☐

Justification:

The proposed activity is not mapped as comprising coastal wetlands or littoral rainforest for the purpose of this SEPP. Other considerations of the SEPP are not applicable to the proposed activity.

Shoalhaven Local Environmental Plan 2014 (SLEP)

Permissible ☒ Not permissible ☐

Justification:

Under the SLEP the proposed activity may have required development consent. The provisions of SEPP Infrastructure, however prevail over the SLEP where there is an inconsistency by virtue of Section 3.28 of the EP&A Act. Consequently development consent is not required. In circumstances where development consent is not required, the environmental assessment provisions outlined in Part 5 of the Act are required to be complied with. This REF fulfils this requirement.

Protection of the Environment Operations Act 1997

Permissible ☒ Not permissible ☐

Justification: The proposed activity does not constitute scheduled development work or scheduled activities as listed in Schedule 1 of the Act. The proposed activity therefore does not require an environmental protection licence.

Local Land Services Act 2013

Permissible ☒ Not permissible ☐

Justification:

Any clearing of vegetation would be of a kind authorised under Section 60O(b)(ii) of the Local Land Services Act 2013 ("an activity carried out by a determining authority within the meaning of Part 5 of the Act after compliance with that Part."). No separate authorisation under the Act is required.

National Parks and Wildlife Act 1974 (NP&W Act)

Permissible ☒ Not permissible ☐

Justification:

- The proposed activity would not encroach into National Park estate.
- The Act provides the basis for the legal protection and management of Aboriginal sites in NSW. Under Sections 86 and 90 of the Act it is an offence to disturb an Aboriginal object or knowingly destroy or damage, or cause the destruction or damage to, an Aboriginal object or place, except in accordance with a permit of consent under section 87 and 90 of the Act.
- As there are no recorded sites or visible objects and as the site is on 'disturbed land', the Due Diligence Guidelines (DECCW 2010) requires no further assessment as it is

reasonable to conclude that there is a low probability of objects occurring in the area of the proposed activity and an AHIP is not required. Refer to Section 3.2 of this REF for more information.

Biodiversity Conservation Act 2016

Permissible ☒ Not permissible ☐

Justification:

- The proposed activity is unlikely to have a significant impact on species and communities listed in the schedules of the Act (refer to Section 3.1 of this REF).
- The proposed development is not within an area declared to be of “outstanding biodiversity value” as defined in the Act.
- The design and mitigation measures (Section 7) would ensure that no *serious and irreversible impacts on biodiversity values* (as defined by the BC Act) occur at the site of the proposed activity.

The proposed activity therefore is not deemed to be *likely to significantly affect threatened species* and an environmental impact statement (EIS) or a Biodiversity Development Assessment Report (BDAR) is not required.

It is also a defence to a prosecution for an offence under Part 2 of the Act (harming animals, picking plants, damaging the habitat of threatened species or ecological communities *etc*) if the work was essential for the carrying out of an activity by a determining authority within the meaning of Part 5 of the *Environmental Planning and Assessment Act 1979* after compliance with that Part. The activity will not remove vegetation that is listed under Schedule 1 Threatened Species, Schedule 2 Threatened ecological communities and Schedule 6 Protected Plants. Therefore the activity is considered permissible as this REF has been prepared and determined in accordance with the EP&A Act.

Water Management Act 2000

Permissible ☒ Not permissible ☐

Justification:

- Local councils are exempt from s.91E(1) of the Act in relation to all controlled activities that they carry out in, on or under waterfront land by virtue of clause 41 of the *Water Management (General) Regulation 2018*.
- The proposal would not interfere with the aquifer and therefore an interference licence is not required (s.91F).

Local Government Act 1993

Permissible ☒ Not permissible ☐

Justification:

The land on which the skate park would be constructed is operational land. Unlike “community” land, “operational” land has no special restrictions other than those that apply to any land in NSW.

Heritage Act 1977

Permissible ☒ Not permissible ☐

The proposed activity would not disturb an item of state heritage significance. The proposal would constitute ‘minor works’ under ‘Relics of local heritage significance: a guide for minor works with limited impact’. The proposal would not result in any direct impacts on heritage items or values. Works can be undertaken with caution under an applicable exception under s139(1) and (2) of the Act.

COMMONWEALTH LEGISLATION

Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EP&BC Act)

Permissible ☒ Not permissible ☐

Justification:

The proposed activity would not be undertaken on Commonwealth land and no matters of National Environmental Significance are likely to be significantly impacted by the proposed activity. The proposed activity is therefore not a controlled action and does not require commonwealth referral.

Commonwealth *Native Title Act 1993*

Permissible ☒ Not permissible ☐

Justification:

As the activity would be undertaken on Freehold title land, it is anticipated that native title has been extinguished as a Previous Exclusive Possession Act – Freehold Title (Section 23B of the Act).

5. CONSULTATION WITH GOVERNMENT AGENCIES

5.1 Transport and Infrastructure SEPP 2021 requirements

Section 2.10 – Consultation with councils - development with impacts on council-related infrastructure or services

The proposed activity would:

- (a) not have an impact on stormwater management
- (b) unlikely generate traffic to an extent that it would strain the capacity of the road system
- (c) not involve connection to, or have a substantial impact on the capacity of the sewerage system
- (d) not involve connection to, and use of a substantial volume of water from the water supply system
- (e) unlikely to cause a disruption to pedestrian or vehicular traffic
- (f) not involve excavation of a footpath or road.

Consultation under Section 2.10 is therefore not required.

Section 2.11 – Consultation with councils - development with impacts on local heritage

No impacts to any local heritage item would occur. Consultation under Section 2.11 is therefore not required.

Section 2.12 – Consultation with councils - development with impacts on flood liable land

The proposed activity site is not on flood liable land. Consultation with Council is therefore not required.

Section 2.13 – Consultation with State Emergency Service (SES) - development with impacts on flood liable land

The proposed activity site is not on flood liable land. Consultation with SES is therefore not required.

Section 2.14 – Consultation with councils - development with impacts on certain land within the coastal zone

The proposal would not occur within a coastal vulnerability area. Consultation is therefore not required.

Section 2.15 – Consultation with public authorities other than councils

In consideration of the other consultation requirements specified under Section 2.15 of the Transport and Infrastructure SEPP, the proposed activity:

- would not be undertaken adjacent to land reserved under the *National Parks and Wildlife Act 1974* or land acquired under that Act

- would not be undertaken on land in Zone E1 National Parks and Nature Reserves or in an equivalent land use zone.
- does not comprise a fixed or floating structure in or over navigable waters
- would not increase the amount of artificial light in the night sky and located on land within the dark sky region as identified on the dark sky region map
- would not be undertaken within Defence communications facility buffer (only relevant to the defence communications facility near Morundah)
- would not be undertaken on land in a mine subsidence district within the meaning of the *Mine Subsidence Compensation Act 1961*
- would not have an impact on the Willandra Lakes Region World Heritage Property
- would not occur in a Western City operational area specified in the *Western Parkland City Authority Act 2018*.

These prescribed consultation requirements therefore do not apply.

Section 2.16 – Consideration of Planning for Bush Fire Protection (PBP)

The proposed activity is not a development prescribed in this section (health services facilities, correctional centres, residential accommodation). Consideration of PBP is therefore not required.

5.2 SCC Internal Asset Custodian

Previous iterations of this REF identified a few potential conflicts between various components of the Bay and Basin Leisure Centre precinct, *i.e.*:

- The site is not serviced by public amenities. The closest public toilets would be the Burton Street amenities in Vincentia, more than 1.5 kilometres away. Without public toilets at the site there could be increased pressure on the use of the toilets within the Leisure Centre or Bomber Oval.
- Similarly, there are no eateries in the vicinity of proposed skate park. There is likely to be pressure from users of the skate park to utilise the cafeteria at Leisure Centre, which is not currently set-up for external use. This could lead to operational issues for the Leisure Centre.
- The outdoor play area of the creche would be immediately adjacent to the construction site and therefore potentially subject to dust, noise and hazardous works.

City Lifestyles is now both the proponent and ultimate asset custodian of the skate park and aquatic centre and acknowledge that the patrons of the skate park will interact and use the aquatic centre (Brown, S. *pers. comm.* 2023).

The creche operates between 9 am and 12 pm Monday to Friday with the outdoor area optional area for the creche's operation. Children can remain inside during noisy, dusty and potentially hazardous construction operations. However, as part of the environmental impact mitigation measures prescribed in Section 7 of this REF, the construction contractor shall engage directly with the management of the Leisure Centre and creche to work out strategies to maximise use of

the outdoor area, e.g. notification of noisy / dusty / hazardous works during creche operation times, installation of hoarding between the creche outdoor area and the construction site.

6. COMMUNITY ENGAGEMENT

The skate park is a component of the Bay and Basin Community Hub Master Plan prepared by consultants Group GSA. The Draft Master Plan was presented to Council's Strategy and Assets Committee meeting on the 21 February 2017. At that meeting under delegated authority, MIN17.102 was adopted:

- "1. Endorse public exhibition of the draft Bay and Basin Community Hub Master Plan for a period of 42 days.*
- 2. Advise stakeholders involved in the preparation of the draft Bay and Basin Community Hub Master Plan of its public exhibition.*
- 3. Receive a further report after public exhibition of the draft Bay and Basin Community Hub Master Plan.*
- 4. Establish a Sub-Committee comprising of Cllrs and members of the CCB's and user groups be convened to assist to finalise the Draft Bay and Basin Community Hub Master Plan."*

In accordance with item 1 of the resolution, SCC placed the Draft Master Plan on public exhibition from 6 March to 30 April 2017. The Get Involved Page, Social Media, Print Media and hard copy flyers were utilised. In addition, there were two drop-in sessions held at the Bay and Basin Leisure Centre on 4 and 5 April 2017, for the community to view the plans and speak with Council staff and the consultants. The drop-in sessions were reported to have been well attended with positive comments and feedback on the proposal.

Over the exhibition period, the relevant website link received 944 visits and SCC received 11 submissions with a range of comments (refer to D17/182418) summarised as:

- suggestion to consider a similar facility of this magnitude in Sanctuary Point
- suggestion to include reversible basketball/netball hoops and dual marking courts
- suggestion to include outdoor pool for water polo
- suggestion to consider varied pedestrian access
- concern regarding impact on the Huskisson Community Centre.

In general, the comments were broad and ranged from satisfied to dissatisfied, however, overall there was support for the Master Plan.

In relation to the skate park, a comment was made that the skate park may attract anti-social behaviour. In response the Skate Park was purposefully located at the front of the facility to ensure safer by design principles and better passive surveillance.

Additional public engagement was undertaken during the design of the skate park. In 2020, SCC engaged skate park design company Convic to consult with the community and develop the concept and detailed design. Convic conducted pre-design consultation with the community and relevant stake holders to inform the draft concept of the skate park. Further consultation was conducted on the draft concept, and amendments were made to reflect the feedback. The level of

consultation is reflected in the report to Council Strategy and Assets Committee of 19 January 2021 (SCC document reference D20/546127):

“Community Engagement

Pre-design Consultation

Due to the current social environment and social distancing practices, the consultants adapted their typical face-to-face community workshops to occur through an online platform, supported by Council’s Get Involved webpage. The community consultation ran for three weeks from Monday 20 July to Sunday 9 August 2020 (inclusive), which included potential users, the broader community, and surrounding stakeholders.

The consultation comprised a video designed to educate and inspire the community on possible inclusions for the new facility and provide insight into the project parameters, opportunities and constraints. This was followed by an online questionnaire that allowed the community to provide input towards the design of the new facility.

The pre-design consultation was completed by 197 participants. The Site Analysis and Pre-Design Consultation Report can be viewed in Attachment 1.

The community feedback was consolidated, and the key findings formed the basis of the Draft Concept Design Report.

Consultation of the Draft Concept Design Report

A Draft Concept Design Report was prepared following the pre-design consultation. The draft concept took into consideration the skill level, preferred style, and requirements of potential users and their spectators. The Draft Concept Design Report is provided as Attachment 2.

The Draft Concept Design Report was exhibited to the community from Friday 20 November to Sunday 6 December 2020 (inclusive). This allowed feedback on the draft concept of the Bay and Basin Skate Park. Feedback was sought from internal Council units, the community, and relevant stakeholders.

During the consultation period twenty (20) survey responses were received from the community, with key themes and messages being:

- Supported the draft concept design*
- Requested an increase in the provision of street skating opportunities*
- Request to include a skateable set of stairs*
- Request to provide additional advanced skate features*
- Request to provide more shade and amenity*
- Request to add rubbish bins to the site*
- Request to include a water fill up station*

As a result of internal and external feedback on the draft concept, the Final Concept Design Report for the Bay and Basin Skate Park has been prepared. The final concept includes an increase of street skating elements, an increase of advanced skating features, additional shade and seating, and supporting elements such as bins and a drinking fountain. The Final Concept Design Report is provided at Attachment 3.”

This level of engagement is consistent with SCC’s Community Engagement Policy (POL12-28). No further community engagement is required.

7. ENVIRONMENTAL SAFEGUARDS AND MEASURES TO MINIMISE IMPACTS

Safeguard / Measure	Responsibility
Works planning, approvals, consultation & notification	
1. This REF shall be published on the NSW Planning Portal.	SCC EOO
Site Establishment	
2. Erosion and sediment controls in accordance with the 'Blue Book' (Landcom 2004) shall be installed and maintained to prevent the entry of sediment into waterways i.e. water diversion, minimising disturbance, erosion control, sediment capture and rapid re-establishment.	SCC Project Manager and Construction Contractor
3. Site offices, amenities and material stockpiles shall be sited on existing cleared areas and not impact native vegetation.	Construction Contractor
4. A Construction Environmental Management Plan (CEMP) for the proposed activity shall be prepared to address the prescribed safeguards and measures within this REF and environmental regulations.	Construction Contractor
5. The contractor shall engage with the management of the Bay and Basin Leisure Centre Child (BBLC) Minding Services (the creche) to minimise disruption to the use of the outdoor area of the creche, e.g. notification of noisy / dusty / hazardous works during creche operation times, installation of hoarding between the creche outdoor area and the construction site.	Construction Contractor and the BBLC Management.
Construction works	
6. Erosion and sediment controls shall be maintained in good working order for the duration of the works and subsequently until the site has been stabilised and the risk of erosion and sediment dispersal is minimal.	Construction Contractor
7. An emergency spill kit shall be always kept on-site with procedures to contain and collect any leakage or spillage of fuels, oils, greases, etc from plant and equipment.	Construction Contractor
8. Staff working at the site will be instructed to stop work immediately on identification of any suspected Aboriginal heritage artefact. If any objects are found, NSW Department of Planning, Industry and Environment (ph:131 555) shall be contacted.	Construction Contractor

Safeguard / Measure	Responsibility
9. Any stockpiles of soil shall be located at least 10 metres away from the estuary and any stormwater flow-paths with erosion and sediment controls in place in accordance with the 'Blue Book' (Landcom 2004).	Construction Contractor
10. Any waste shall be managed, transported, stored, collected and disposed of in an environmentally satisfactory manner pursuant to NSW <i>Protection of the Environment Operations Act 1997</i> .	Construction Contractor
Post construction	
11. An asset form <u>must</u> be trimmed to file 44574E on commissioning of the assets in Accordance with POL15/8 Asset Accounting Policy section 3.1.4 and POL16/79 Asset Management Policy section 3.3.	SCC PM

8. SIGNIFICANCE EVALUATION & DECISION STATEMENT

This Review of Environmental Factors has assessed the likely environmental impacts, in the context of Part 5 of the *Environmental Planning and Assessment Act 1979*, of a proposal by Shoalhaven City Council to the construction of a skate park at the Bay and Basin Leisure Centre.

In consideration of the proposal as described in Section 1, in accordance with any design plans referred to in this report, and assuming the implementation of all proposed safeguards and mitigation measures (Section 7), it is determined that:

1. It is unlikely that there will be any significant environmental impact as a result of the proposed work and an Environmental Impact Statement is not required for the proposed works.
2. The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats and a Species Impact Statement / BDAR is not required.
3. No additional statutory approvals, licences, permits and external government consultations are required.
4. The proposed activity may proceed.

In accepting and adopting this REF, Shoalhaven City Council commits to ensuring the implementation of the proposed safeguards and mitigation measures identified in this report (Section 7) to minimise and/or prevent detrimental environmental impacts.

Determined by:



Kevin Norwood
(Acting) Manager – Recreation Projects – Planning & Delivery
City Lifestyles – Shoalhaven City Council
Date: 07/08/2023

9. REFERENCES

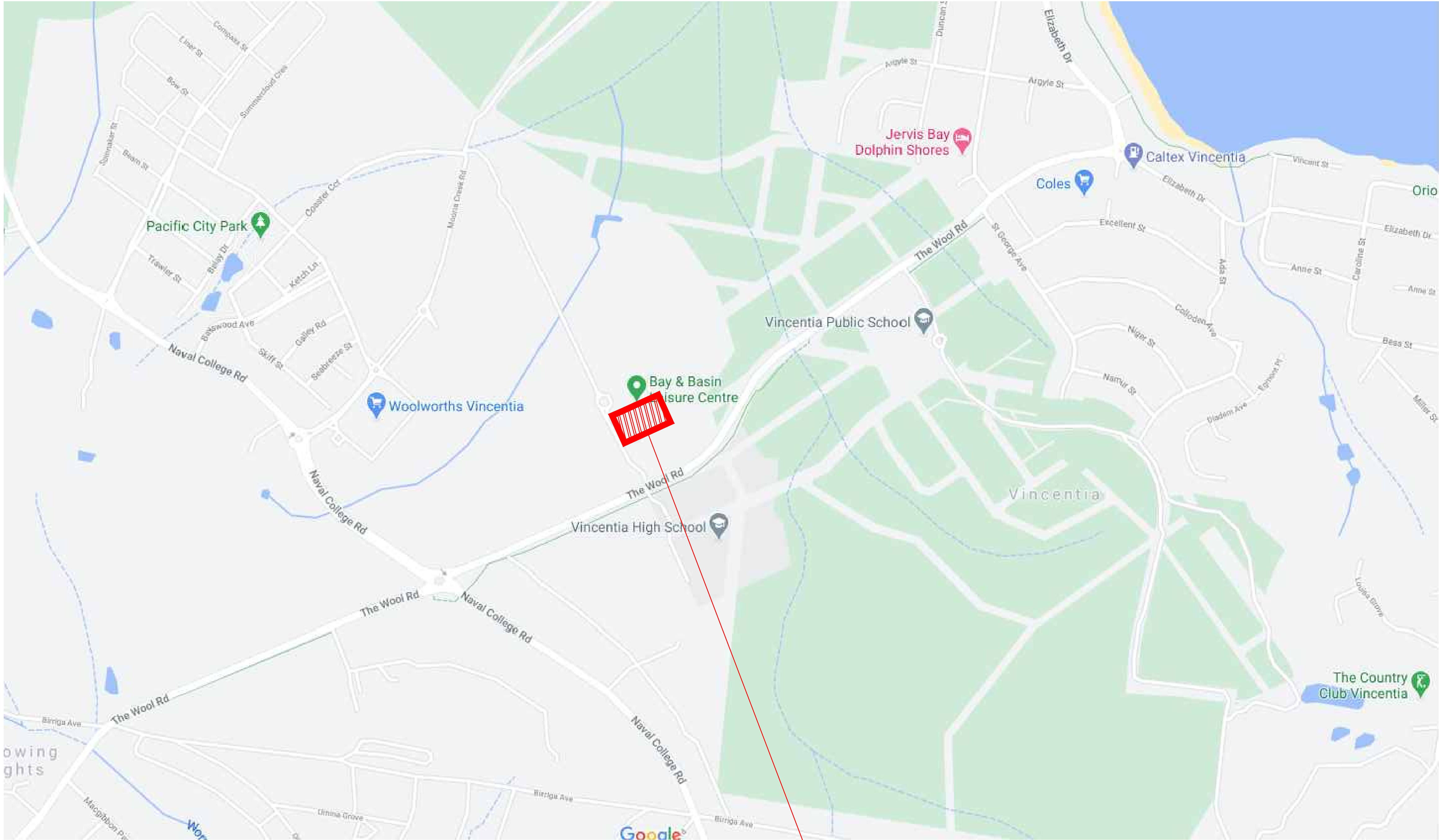
- DECCW (Department of Environment, Climate Change and Water, NSW) 2010 Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales. Available at: https://www.dpi.nsw.gov.au/_data/assets/pdf_file/0005/634694/Policy-and-guidelines-for-fish-habitat.pdf
- In-Site Heritage Management 1997 *An Archaeological Assessment of a Proposed Leisure Complex, The Wool Road, Vincentia, New South Wales*. Report to Shoalhaven City Council.
- Landcom 2004 *Managing Urban Stormwater: Soils and Construction 4th edition*. NSW Government. ISBN 0-9752030-3-7
- Navin Officer 1999 *Proposed Bay and Basin Leisure Centre, Vincentia, NSW: Archaeological Inspection and Monitoring Program*. Unpublished Report to Shoalhaven City Council.
- Terra Insight 2019 *Report on Geotechnical Investigation: Bay and Basin Leisure Centre, Vincentia NSW*. Unpublished report for Shoalhaven City Council. Terra Insight reference TERRA19424.Rep1.Rev0

Personal communications

Brown, Simon 2023 Centre Leisure Manager, Shoalhaven City Council

APPENDIX A – The Activity

BAY AND BASIN SKATE PARK



LOCATION OF WORKS

DRAWING INDEX

NO.	DRAWING TITLE
20025_CD000	Title Page & Drawing Index
20025_CD001	General Notes
20025_CD010	Existing Conditions Plan
20025_CD011	Demolition Plan
20025_CD012	Site Plan
20025_CD100	Grading Plan
20025_CD101	X&Y Plan
20025_CD102	Dimension Plan
20025_CD103	Surface Finishes Plan
20025_CD104	Concrete Joint Plan
20025_CD105	Steelwork and Coping Plan
20025_CD106	Section Key Plan
20025_CD200	Sections 01
20025_CD201	Sections 02
20025_CD300	Details 01
20025_CD301	Details 02
20025_CD320	Shelter Details

FOR CONSTRUCTION

DRAWING NUMBER	REV
20025_CD000	B

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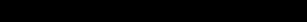
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NORTH POINT



B	FOR CONSTRUCTION	26.04.21
A	DRAFT DETAILED DESIGN ISSUE	31.03.21

PROJECT
BAY AND BASIN SKATE PARK
BAY AND BASIN LEISURE CENTRE
DRAWING TITLE
TITLE PAGE AND DRAWING INDEX



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PROJECT

BAY AND BASIN SKATE PARK

BAY AND BASIN LEISURE CENTRE

DRAWING TITLE

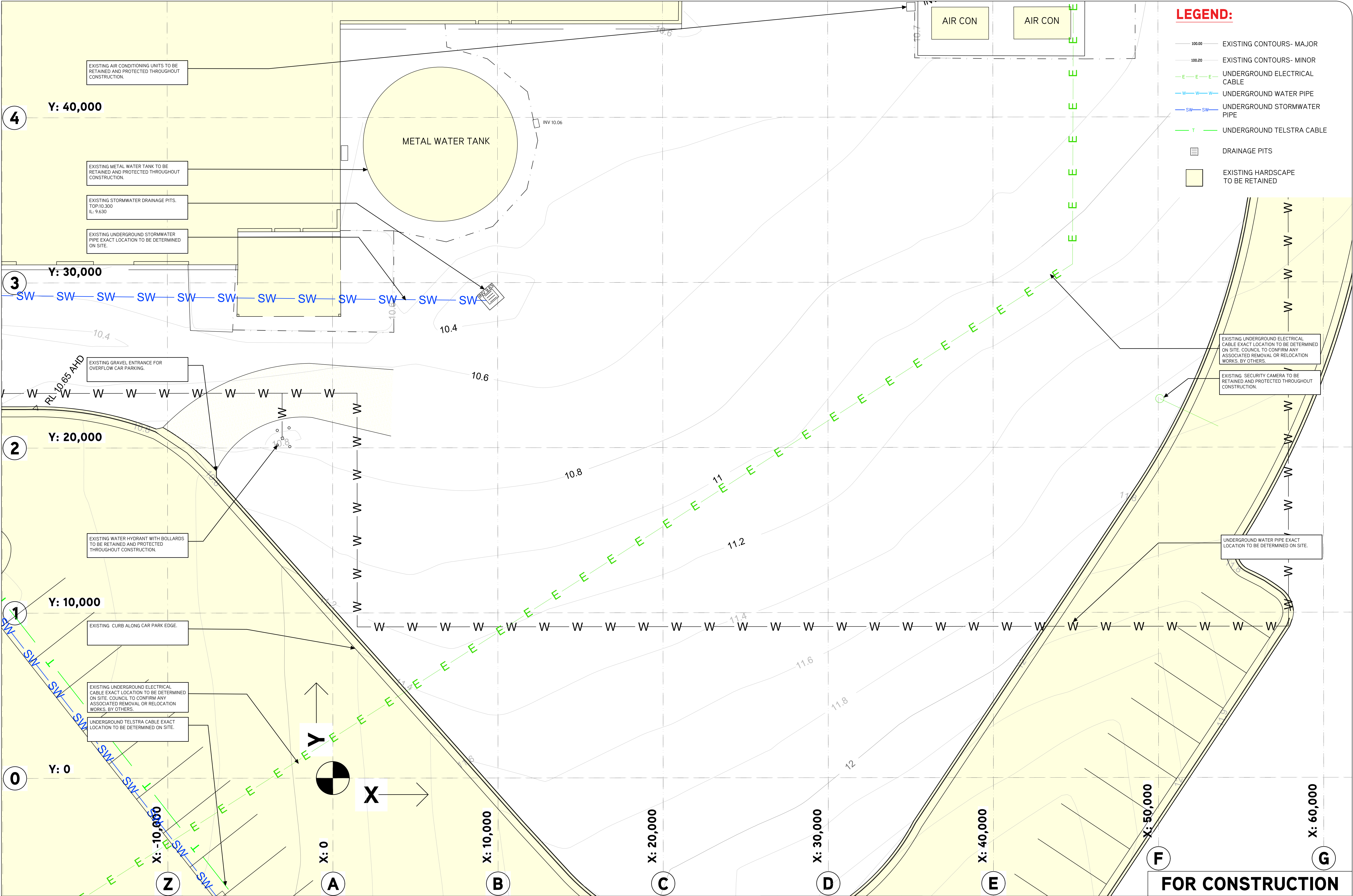
GENERAL NOTES

DRAWING NUMBER

20025_CD001

REV

B



LEGEND:

- 100.00 — EXISTING CONTOURS- MAJOR
- 100.20 — EXISTING CONTOURS- MINOR
- E — E — E — UNDERGROUND ELECTRICAL CABLE
- W — W — W — UNDERGROUND WATER PIPE
- SW — SW — SW — UNDERGROUND STORMWATER PIPE
- T — UNDERGROUND TELSTRA CABLE
- — DRAINAGE PITS
- — EXISTING HARDSCAPE TO BE RETAINED

FOR CONSTRUCTION

20025_CD010 B

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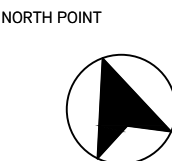
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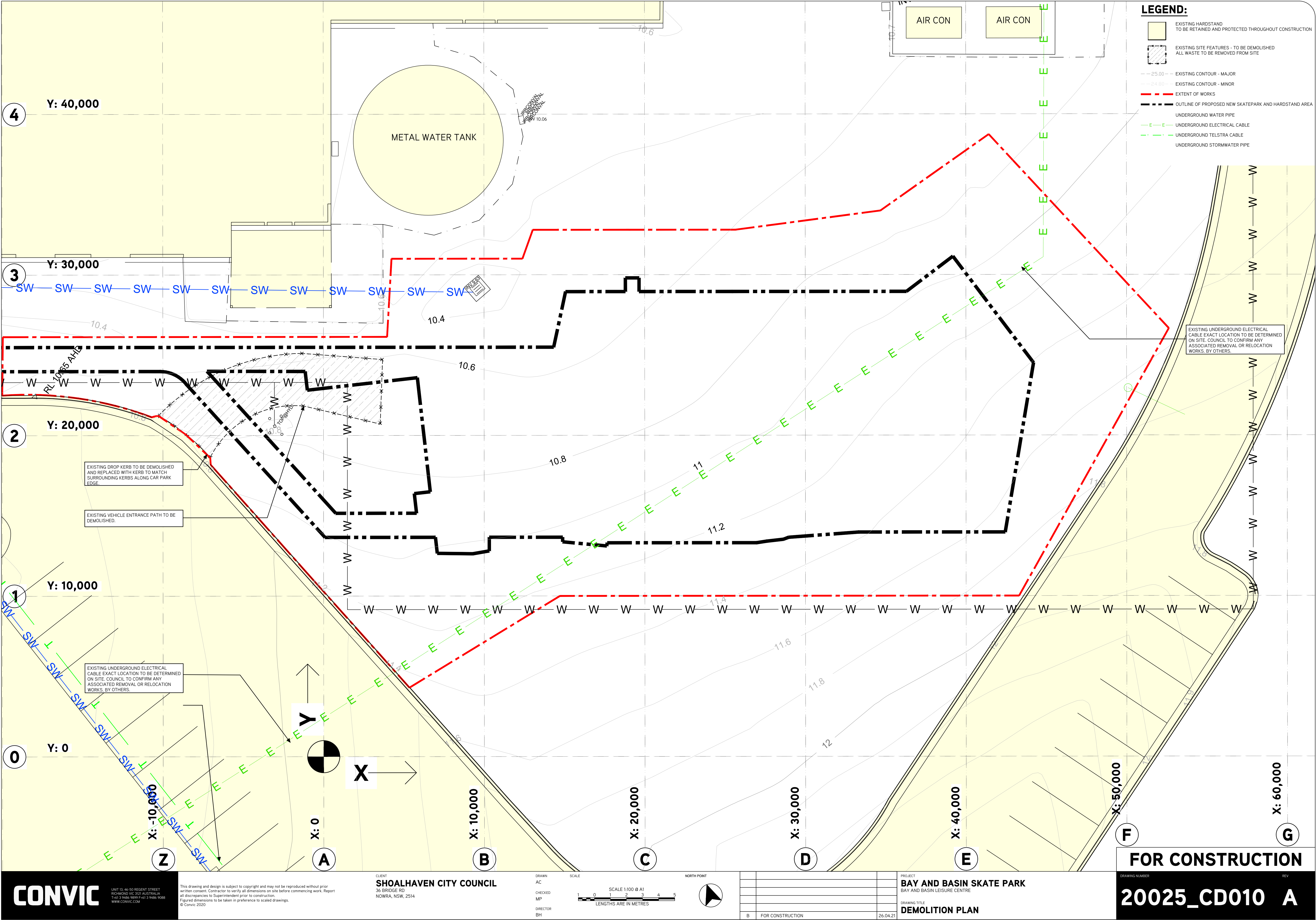
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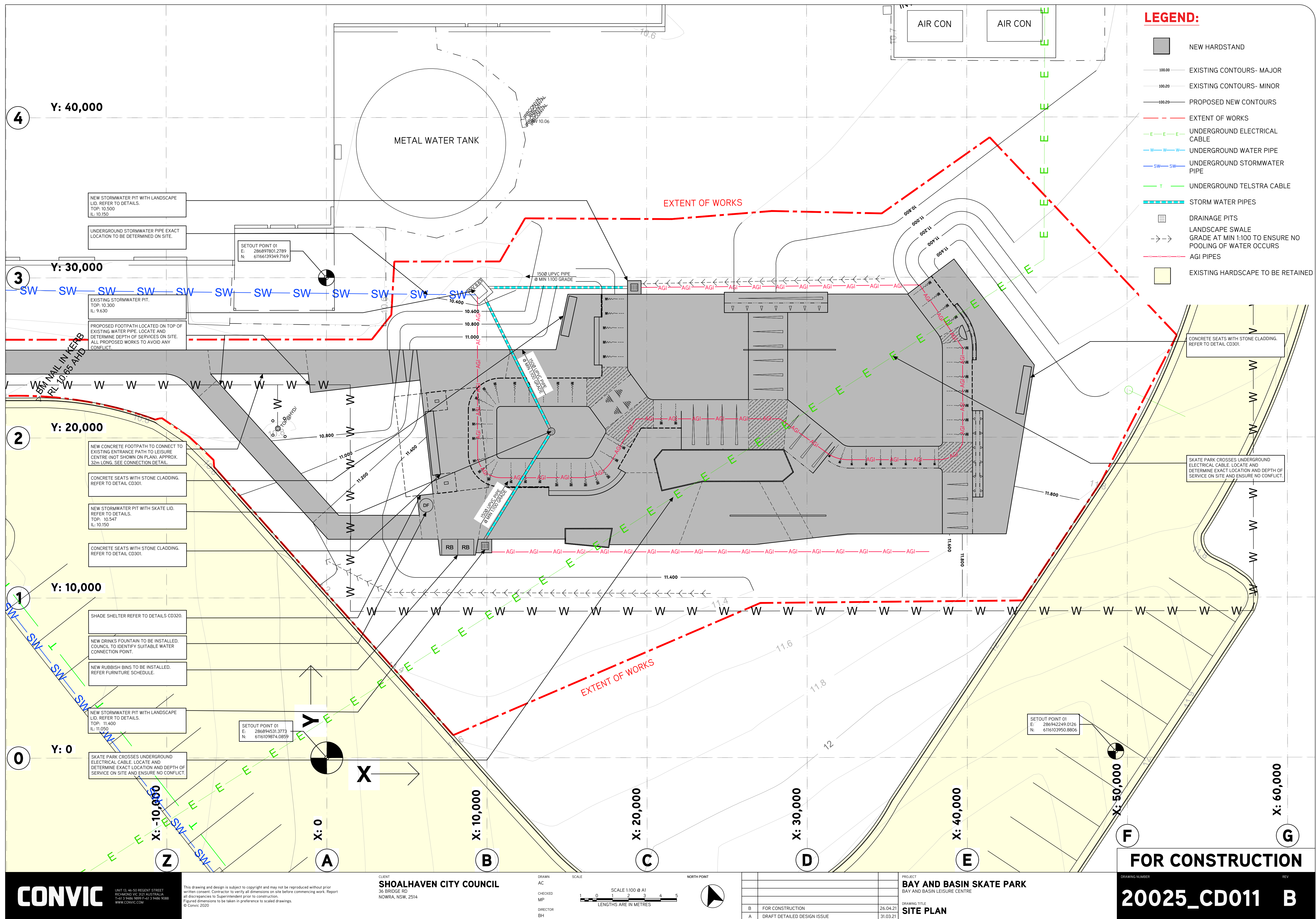


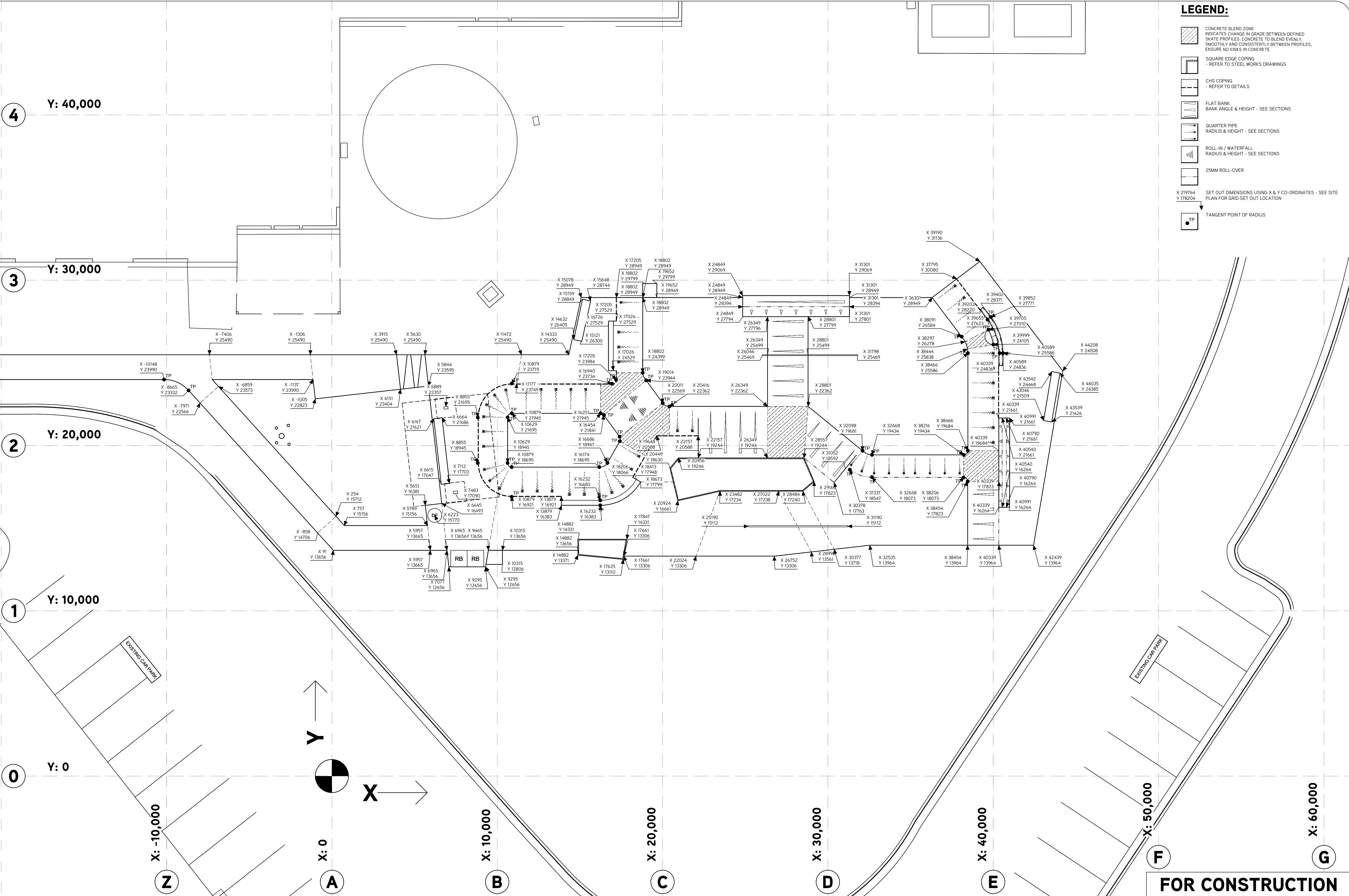
B	FOR CONSTRUCTION	26.04.21
A	DRAFT DETAILED DESIGN ISSUE	31.03.21

PROJECT
BAY AND BASIN SKATE PARK
BAY AND BASIN LEISURE CENTRE
DRAWING TITLE
EXISTING CONDITIONS PLAN

DRAWING NUMBER
20025_CD010 REV







LEGEND:

- CONCRETE BLEND ZONE
INDICATES CHANGE IN GRADE BETWEEN DEFINED SKATE PROFILES. CONCRETE TO BLEND EVENLY, SMOOTHLY AND CONSISTENTLY BETWEEN PROFILES. ENSURE NO KINKS IN CONCRETE.
- SQUARE EDGE COPING
- REFER TO STEEL WORKS DRAWINGS
- CHS COPING
- REFER TO DETAILS
- FLAT BANK
BANK ANGLE & HEIGHT - SEE SECTIONS
- QUARTER PIPE
RADIUS & HEIGHT - SEE SECTIONS
- ROLL-IN / WATERFALL
RADIUS & HEIGHT - SEE SECTIONS
- 25MM ROLL-OVER
- X 219764 Y 178204
SET OUT DIMENSIONS USING X & Y CO-ORDINATES - SEE SITE PLAN FOR GRID SET OUT LOCATION
- TP
TANGENT POINT OF RADIUS

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SCALE
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LENGTHS ARE IN METRES



A	FOR CONSTRUCTION				26.04.21

PROJECT
BAY AND BASIN SKATEPARK UPGRADE
BAY AND BASIN LEISURE CENTRE
DRAWING TITLE
XY COORDINATE PLAN

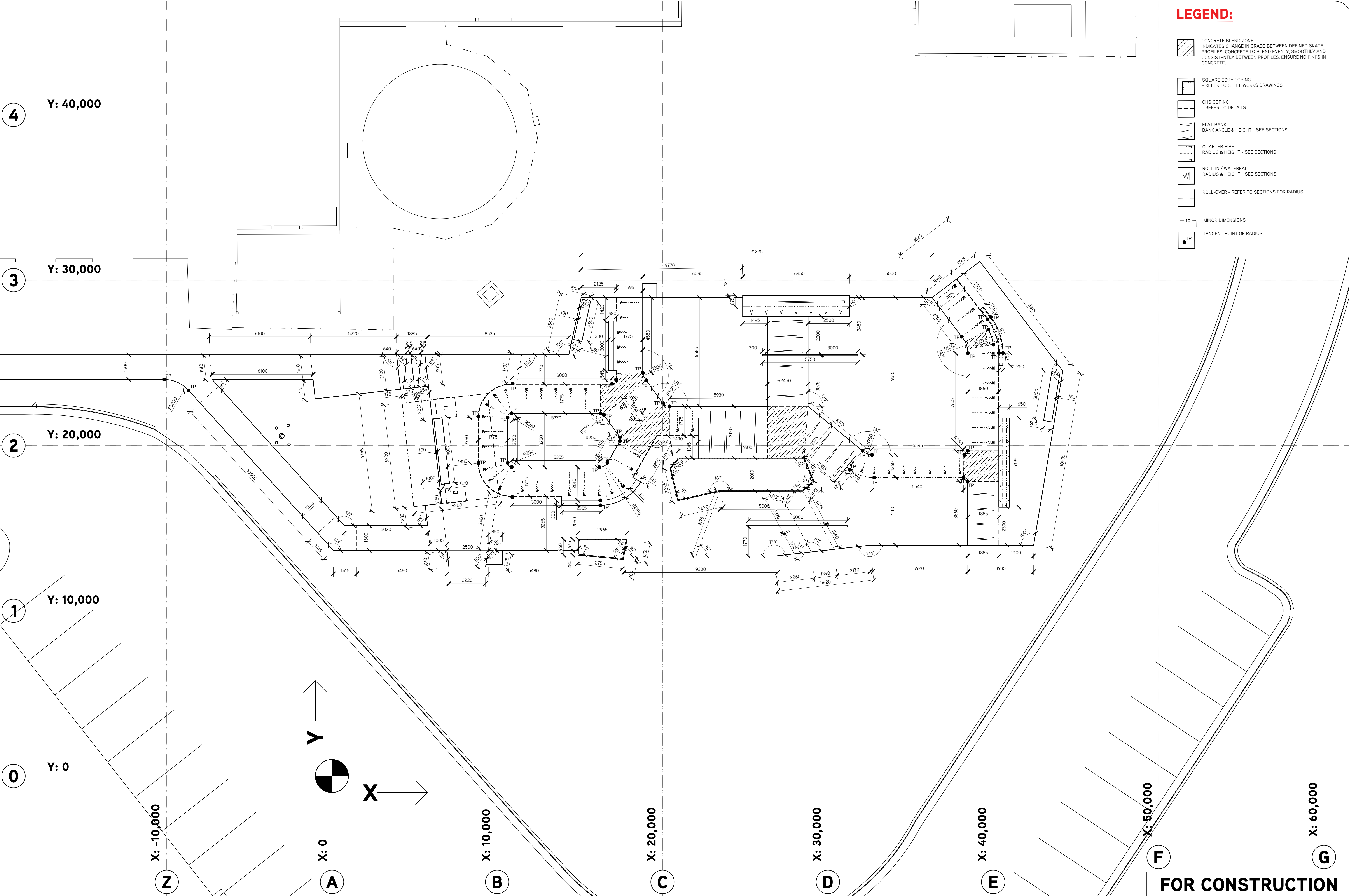
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20025_CD101

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FOR CONSTRUCTION



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- SQUARE EDGE COPING
- REFER TO STEEL WORKS DRAWINGS
- CHS COPING
- REFER TO DETAILS
- FLAT BANK
BANK ANGLE & HEIGHT - SEE SECTIONS
- QUARTER PIPE
RADIUS & HEIGHT - SEE SECTIONS
- ROLL-IN / WATERFALL
RADIUS & HEIGHT - SEE SECTIONS
- ROLL-OVER - REFER TO SECTIONS FOR RADIUS
- 10
MINOR DIMENSIONS
- TP
TANGENT POINT OF RADIUS

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LENGTHS ARE IN METRES

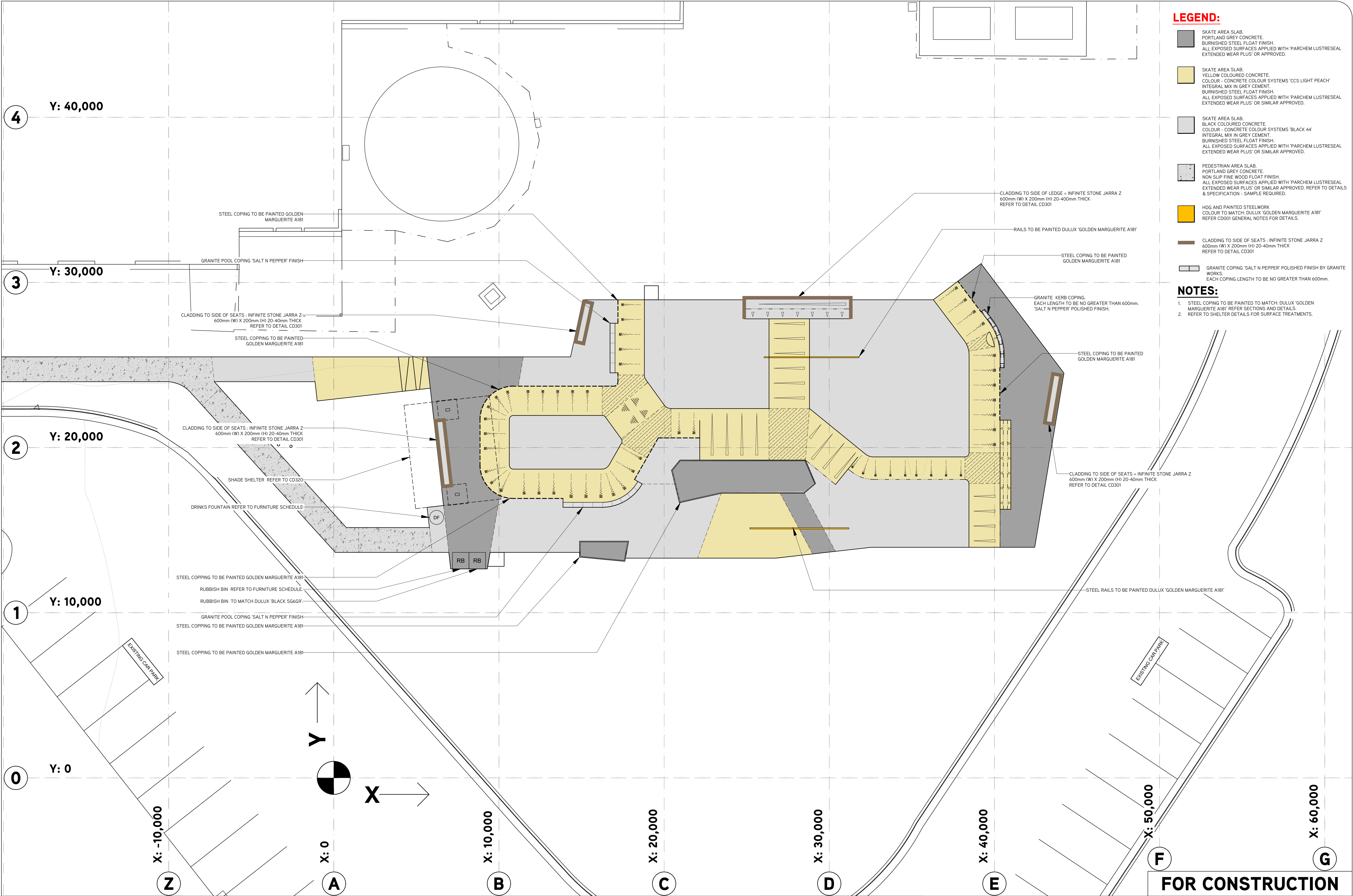


B	FOR CONSTRUCTION	26.04.21
A	DRAFT DETAILED DESIGN ISSUE	31.03.21

PROJECT
BAY AND BASIN SKATE PARK
BAY AND BASIN LEISURE CENTRE
DRAWING TITLE
DIMENSION PLAN

DRAWING NUMBER
20025_CD102
REV
B

FOR CONSTRUCTION

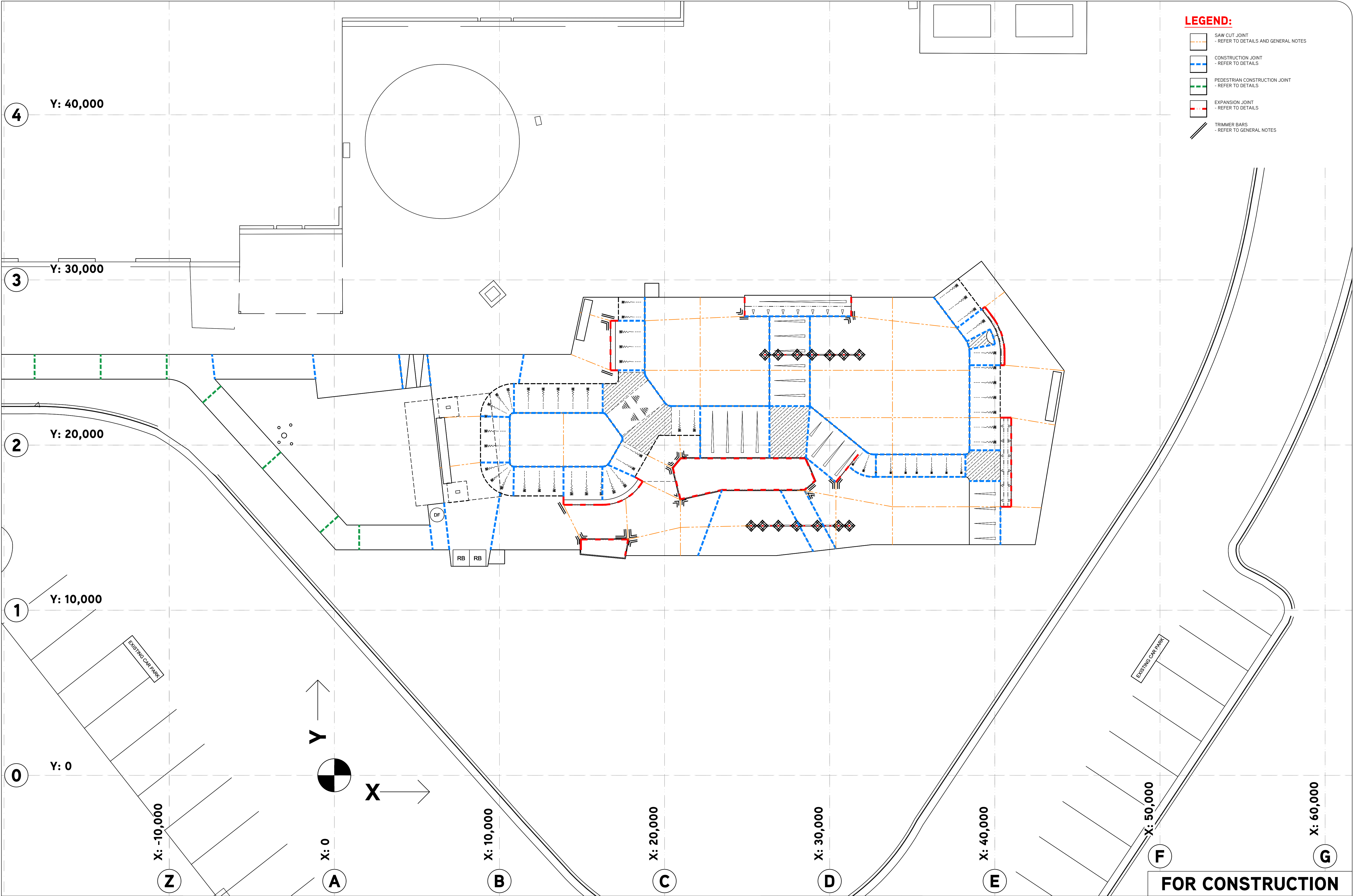


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EXTENDED WEAR PLUS' OR APPROVED.
- SKATE AREA SLAB.
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COLOUR - CONCRETE COLOUR SYSTEMS 'CCS LIGHT PEACH'
INTEGRAL MIX IN GREY CEMENT.
BURNISHED STEEL FLOAT FINISH.
ALL EXPOSED SURFACES APPLIED WITH 'PARCHEM LUSTRESEAL
EXTENDED WEAR PLUS' OR SIMILAR APPROVED.
- SKATE AREA SLAB.
BLACK COLOURED CONCRETE.
COLOUR - CONCRETE COLOUR SYSTEMS 'BLACK 44'
INTEGRAL MIX IN GREY CEMENT.
BURNISHED STEEL FLOAT FINISH.
ALL EXPOSED SURFACES APPLIED WITH 'PARCHEM LUSTRESEAL
EXTENDED WEAR PLUS' OR SIMILAR APPROVED.
- PEDESTRIAN AREA SLAB.
PORTLAND GREY CONCRETE.
NON SLIP FINE WOOD FLOAT FINISH.
ALL EXPOSED SURFACES APPLIED WITH 'PARCHEM LUSTRESEAL
EXTENDED WEAR PLUS' OR SIMILAR APPROVED. REFER TO DETAILS
& SPECIFICATION - SAMPLE REQUIRED.
- HOG AND PAINTED STEELWORK
COLOUR TO MATCH: DULUX 'GOLDEN MARGUERITE A181'
REFER CD001 GENERAL NOTES FOR DETAILS.
- CLADDING TO SIDE OF SEATS : INFINITE STONE JARRA Z
600mm (W) X 200mm (H) 20-40mm THICK
REFER TO DETAIL CD301
- GRANITE COPING 'SALT N PEPPER' POLISHED FINISH BY GRANITE
WORKS.
EACH COPING LENGTH TO BE NO GREATER THAN 600mm.

NOTES:

- STEEL COPING TO BE PAINTED TO MATCH: DULUX 'GOLDEN
MARGUERITE A181' REFER SECTIONS AND DETAILS.
- REFER TO SHELTER DETAILS FOR SURFACE TREATMENTS.



- LEGEND:**
- SAW CUT JOINT
~ REFER TO DETAILS AND GENERAL NOTES
 - CONSTRUCTION JOINT
~ REFER TO DETAILS
 - PEDESTRIAN CONSTRUCTION JOINT
~ REFER TO DETAILS
 - EXPANSION JOINT
~ REFER TO DETAILS
 - TRIMMER BARS
~ REFER TO GENERAL NOTES

 SQUARE EDGE COPING
- REFER TO STEEL WORKS DRAWINGS

CHS COPING
- REFER TO DETAILS

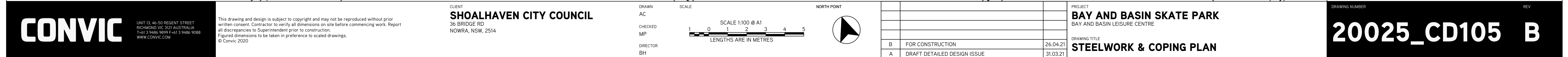
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TP TANGENT POINT OF RADIUS

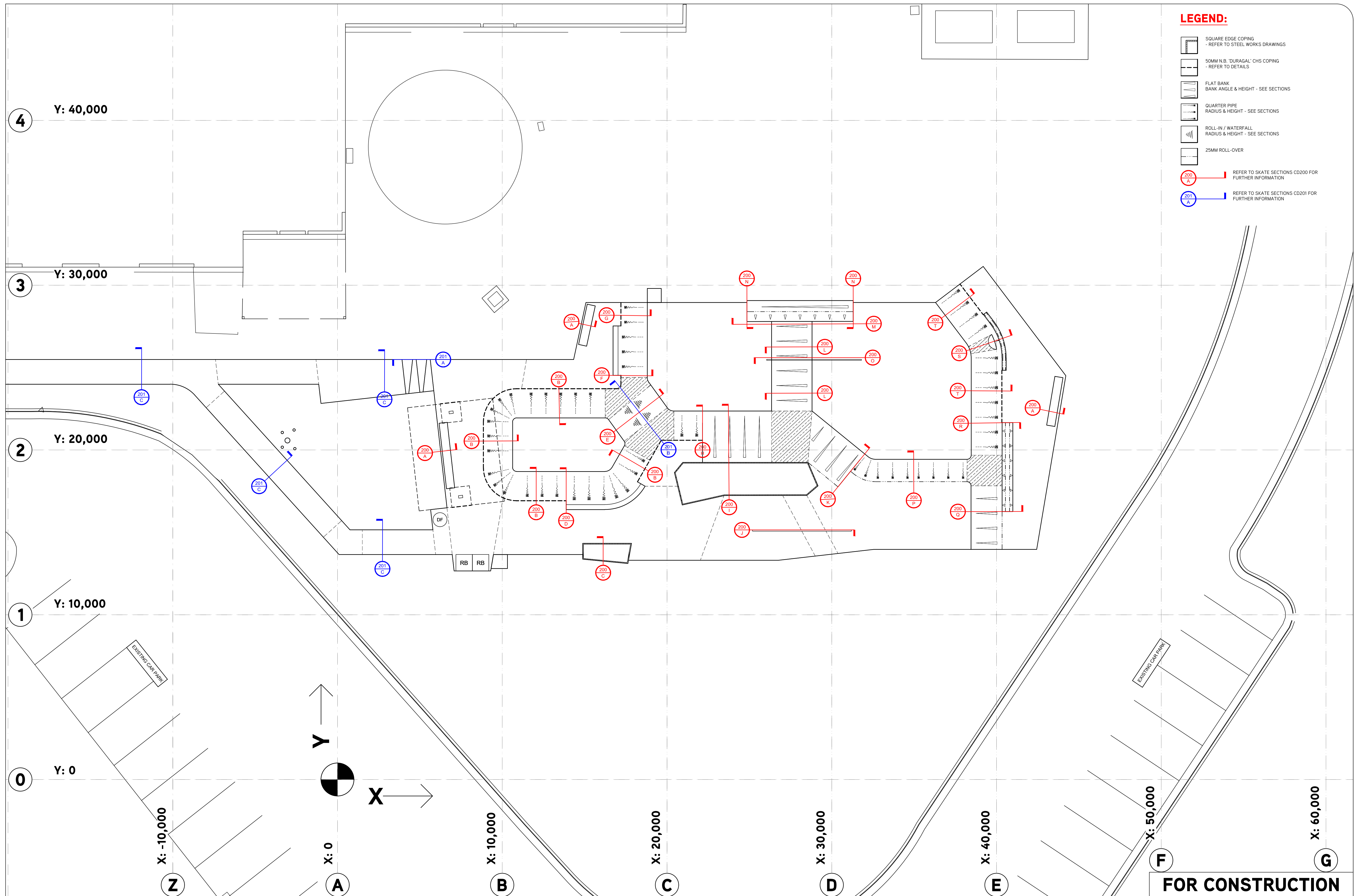
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R=1800 COPING CENTERLINE RADIUS SHOWN IN MILLIMETRES

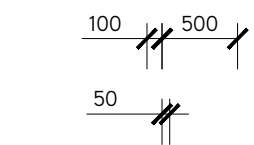
EXPOSED ENDS OF MEMBERS SHALL BE CAPPED, FULLY WELDED, AND GROUND SMOOTH.
 ** INDICATES STEEL COPING IS NOT FLAT.
 REFER TO GRADING AND SECTIONS PLANS FOR FURTHER DETAILS.



	SQUARE EDGE COPING - REFER TO STEEL WORKS DRAWINGS
	50MM N.B. 'DURAGAL' CHS COPING - REFER TO DETAILS
	FLAT BANK BANK ANGLE & HEIGHT - SEE SECTIONS
	QUARTER PIPE RADIUS & HEIGHT - SEE SECTIONS
	ROLL-IN / WATERFALL RADIUS & HEIGHT - SEE SECTIONS
	25MM ROLL-OVER
	REFER TO SKATE SECTIONS CD200 FOR FURTHER INFORMATION
	REFER TO SKATE SECTIONS CD201 FOR FURTHER INFORMATION



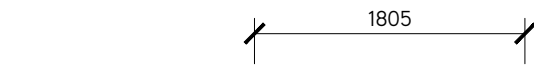
20025_CD106 B



REFER TO CONCRETE SEAT DETAIL.

REBATE 50mm TO ALLOW STONE CLADDING INSTALLATION. REFER DETAIL. CLADDING MUST NOT SIT PROUD OF TOP EDGE OF CONCRETE SEAT.

200 450H CONCRETE SEAT WITH STONE CLADDING
A SECTION SCALE 1:50



50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

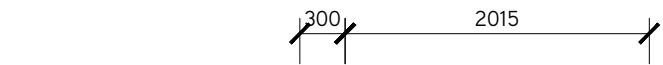
200 1000H QUARTER PIPE
B SECTION SCALE 1:50

LENGHT VARIES
REFER TO PLANS

INDEPENDENT BLOCK REFER TO DETAIL

150x50x5mm RHS COPING TO PERIMETER OF LEDGE. REFER TO GENERAL NOTED AND 'SHS COPING INSTALLATION' DETAIL.

200 350H LEDGE
C SECTION SCALE 1:50



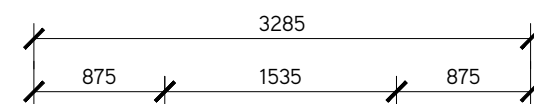
GRANITE WORKS POOL COPING 'SALT N PEPPER' FINISH REFER TO DETAIL

50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

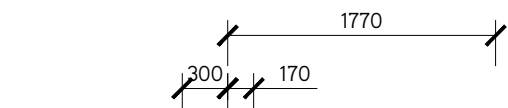
200 1500H POOL COPING EXTENSION
D SECTION SCALE 1:50



'RAMP SLAB'. REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 350H MOGUL
E SECTION SCALE 1:50



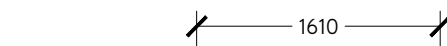
GRANITE WORKS POOL COPING 'SALT N PEPPER' FINISH REFER TO DETAIL

50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 1500H POOL COPING EXTENSION
F SECTION SCALE 1:50

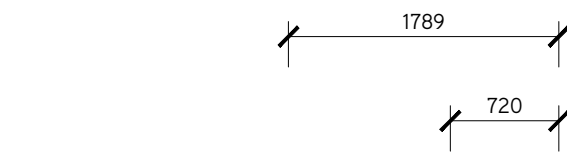


50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 1000H QUARTER PIPE
G SECTION SCALE 1:50



50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

DASHED LINE SHOWS BANK IN BACKGROUND

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 1000H QUARTER PIPE IN FRONT OF BANK
H SECTION SCALE 1:50

150x50x5mm RHS COPING TO PERIMETER OF LEDGE. REFER TO GENERAL NOTED AND 'SHS COPING INSTALLATION' DETAIL.

25mm ROLLOVER

'RAMP SLAB'. REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

INDEPENDENT BLOCK. REFER TO BLOCK ON SLAB

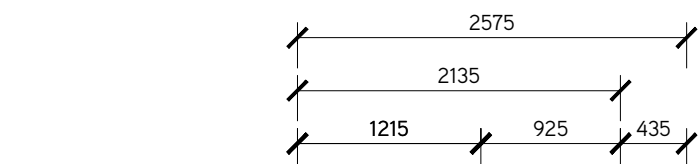
200 1000H BANK TO LEDGE
I SECTION SCALE 1:50

RAILS & LEGS TO BE PAINTED DULUX 'GOLDEN MARGUERITE A181'

60NB 'DURAGAL' CHS TOP RAIL & 35NB LEGS

REFER TO SKATE RAIL INSTALLATION DETAIL.

200 350H FLAT RAIL
J SECTION SCALE 1:50



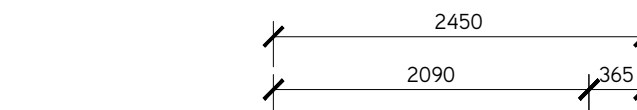
25MM ROLLOVER

50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 500H QUARTER PIPE IN FRONT OF BANK
K SECTION SCALE 1:50

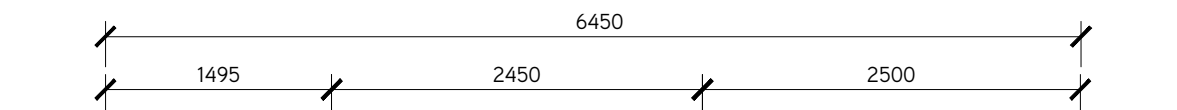


25MM ROLLOVER

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

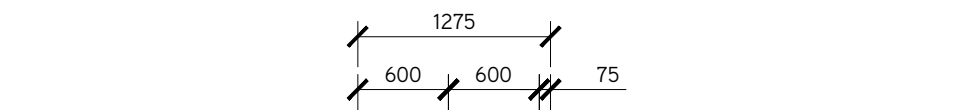
200 400H Flat Bank
L SECTION SCALE 1:50



25MM ROLLOVER

INDEPENDENT STAIR REFER DETAILS

200 'CHINA BANK' HUBBA LEDGE DOWN STAIRS
M SECTION SCALE 1:50



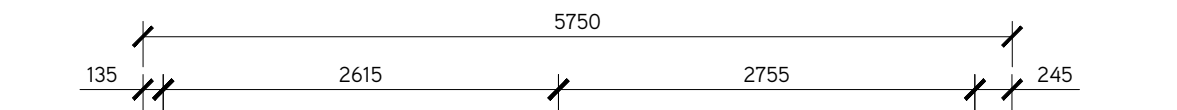
'RAMP SLAB' REFER TO DETAIL

25MM ROLLOVER

STONE CLADDING INSTALLATION TO OUTSIDE EDGES. REFER DETAIL.

REFER TO INDEPENDENT BLOCK DETAIL

200 'CHINA BANK HUBBA LEDGE' WITH STONE CLADDING
N SECTION SCALE 1:50

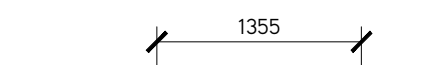


RAILS & LEGS TO BE PAINTED DULUX 'GOLDEN MARGUERITE A181'

60NB 'DURAGAL' CHS TOP RAIL & 35NB LEGS

REFER TO SKATE RAIL INSTALLATION DETAIL.

200 DOWN AND OUT RAIL
O SECTION SCALE 1:50

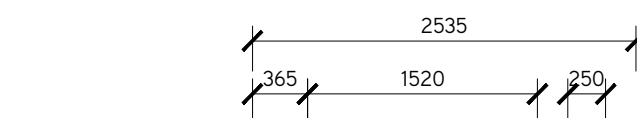


25mm ROLL OVER 'NO PING' DETAIL

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 500H QUARTER PIPE
P SECTION SCALE 1:50



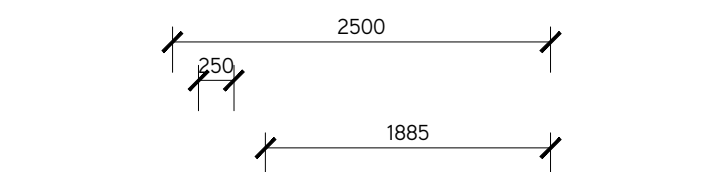
50MM ROLLOVER BOTH SIDE

INDEPENDENT BLOCK REFER TO JERSEY BARRIER DETAIL

'RAMP SLAB' REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 300H FLAT BANK TO 750H JERSEY BARRIER
Q SECTION SCALE 1:50



50MM ROLLOVER BOTH SIDE

'RAMP SLAB' REFER TO DETAIL

REFER TO JERSEY BARRIER DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 900H QUARTER PIPE TO 750H JERSEY BARRIER
R SECTION SCALE 1:50

250

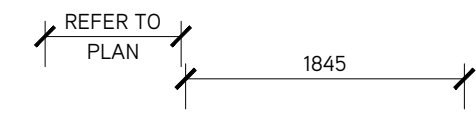
'RAMP SLAB' REFER TO DETAIL

LOVE SEAT REFER TO DETAIL

GRANITE KERB REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 600H LOVE SEAT IN 900H QUARTER PIPE WITH GRANITE KERB
S SECTION SCALE 1:50



50NB 'DURAGAL' CHS COPING. REFER TO DETAILS

'RAMP SLAB'. REFER TO DETAIL

TRANSITION FOOTING. REFER 'SLAB TOE' DETAIL

200 900H QUARTER PIPE
T SECTION SCALE 1:50

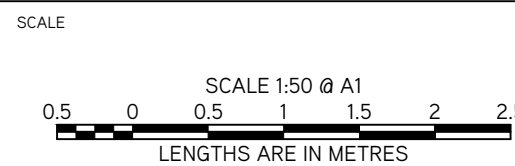
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A	DRAFT DETAILED DESIGN ISSUE	31.03.21

PROJECT
BAY AND BASIN SKATE PARK
BAY AND BASIN LEISURE CENTRE

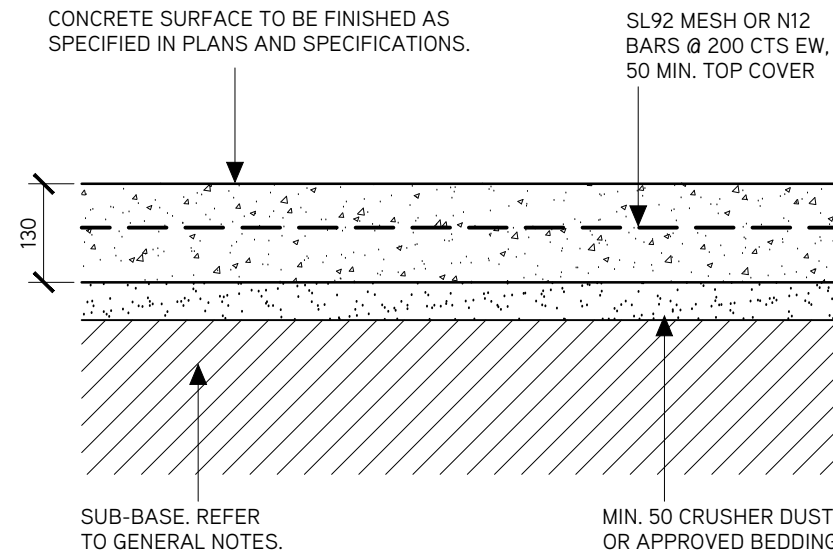
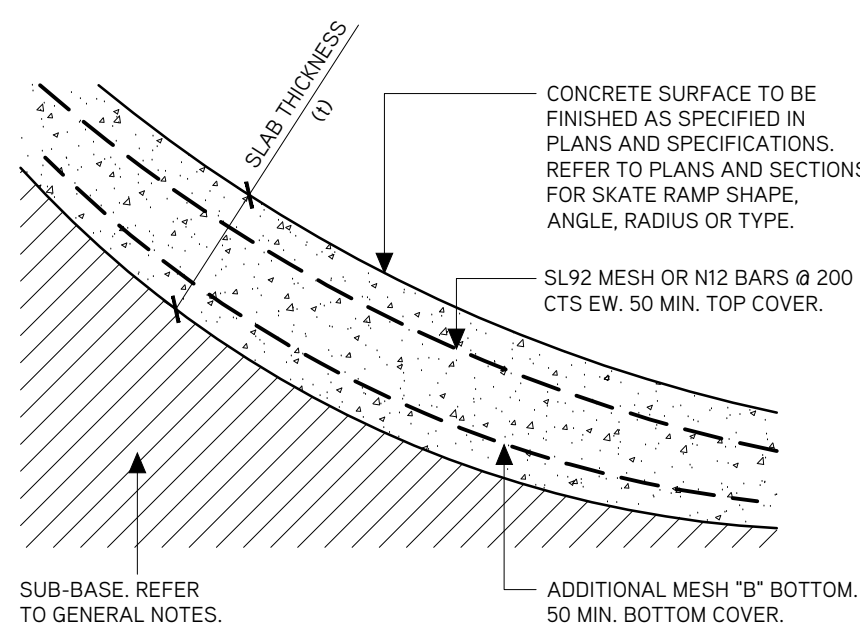
DRAWING TITLE
SECTIONS 01

FOR CONSTRUCTION

DRAWING NUMBER
20025_CD200 B

REV



**300 A SKATEPARK - FLAT SLAB**
SECTION SCALE 1:10**300 B SKATEPARK - RAMP SLAB**
SECTION SCALE 1:10

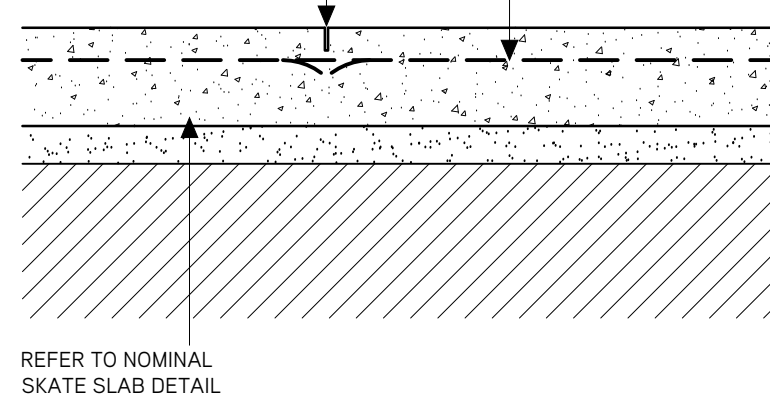
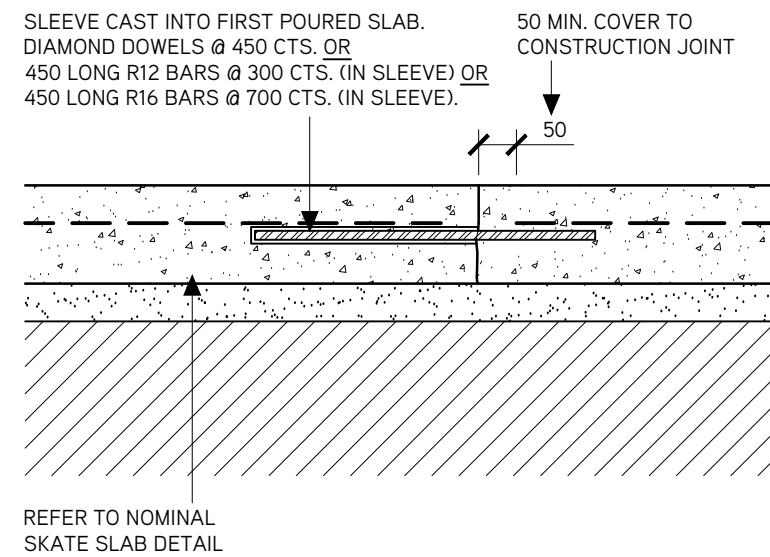
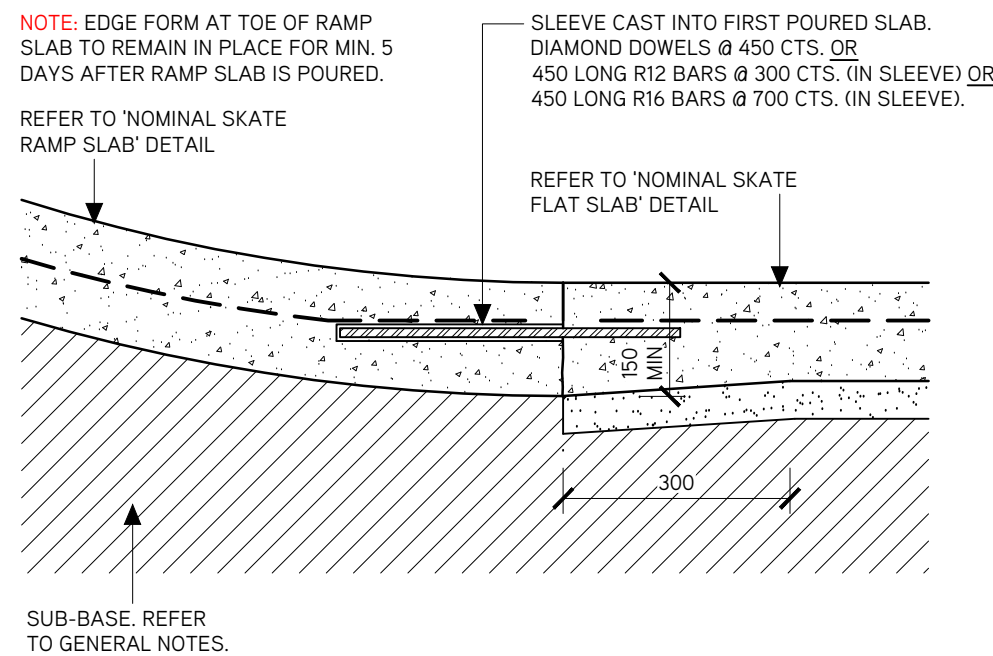
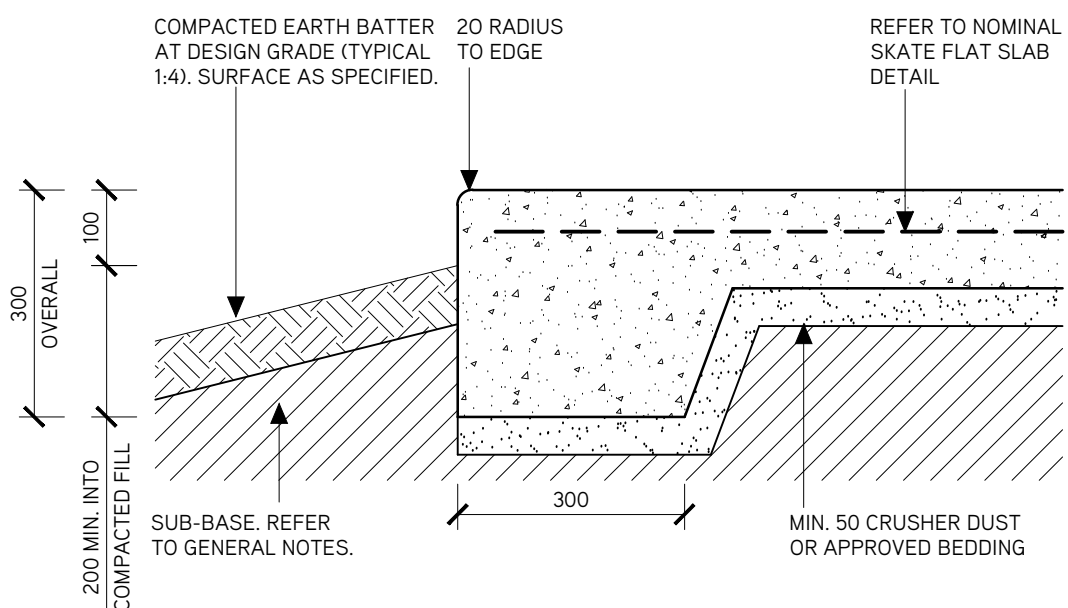
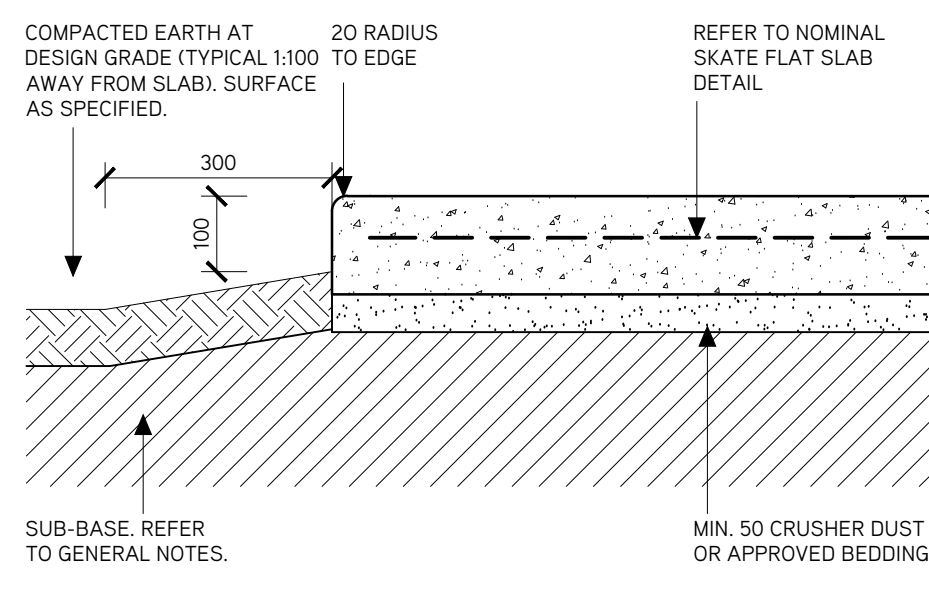
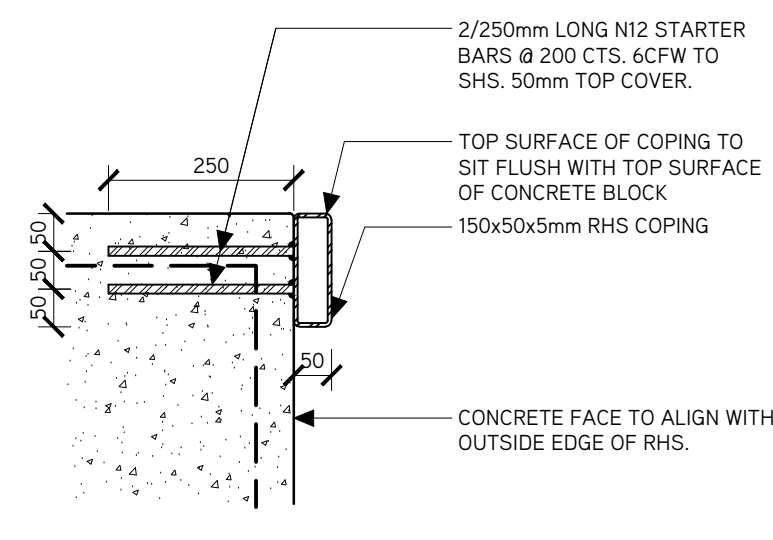
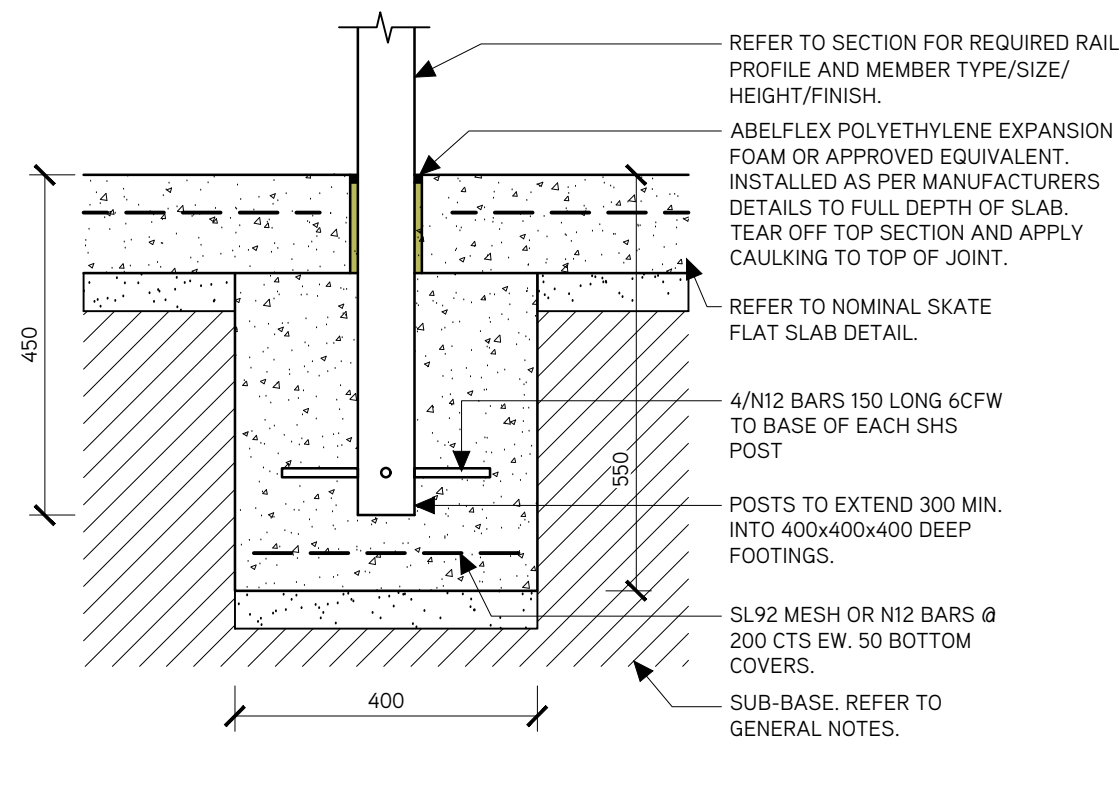
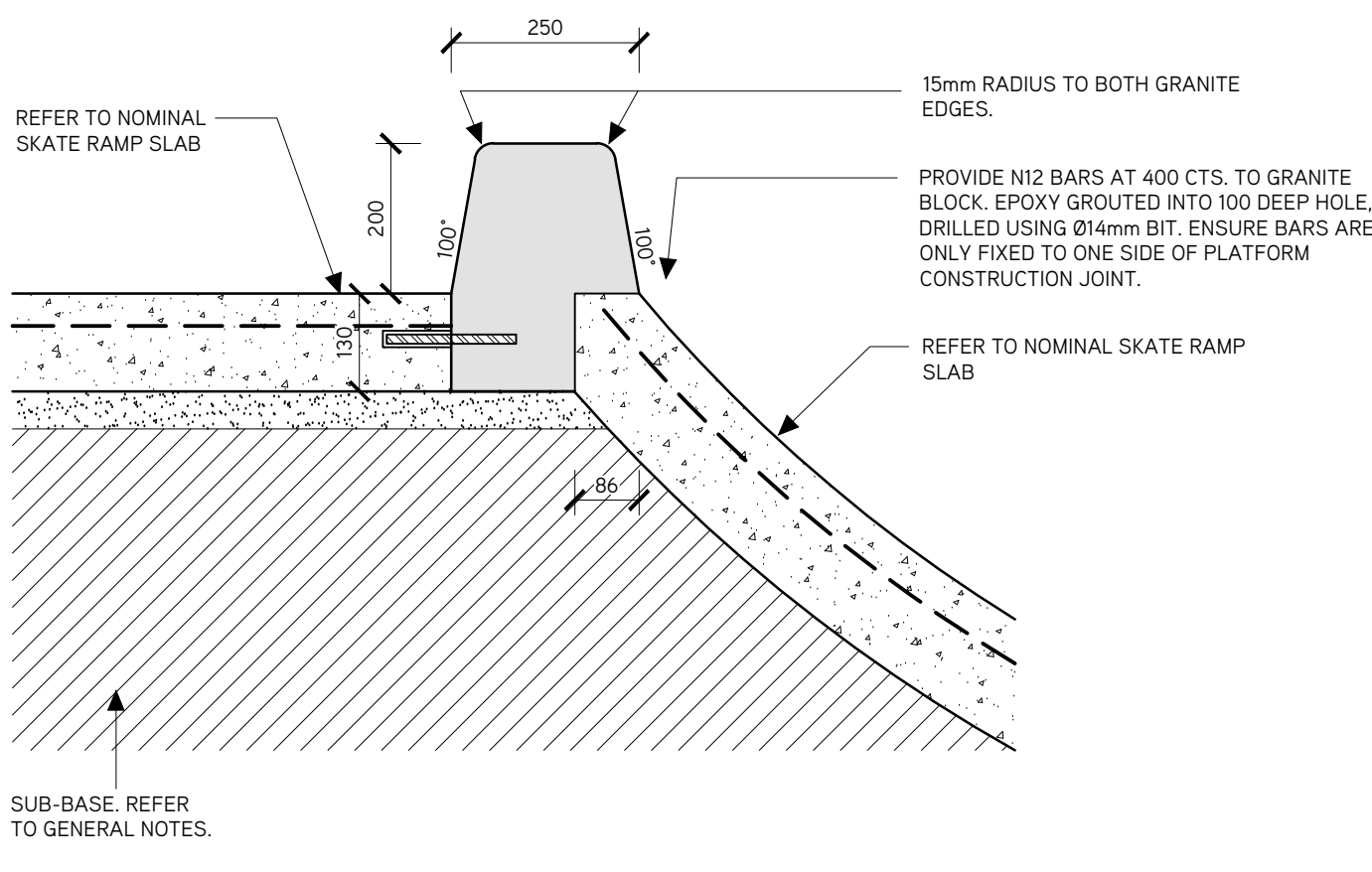
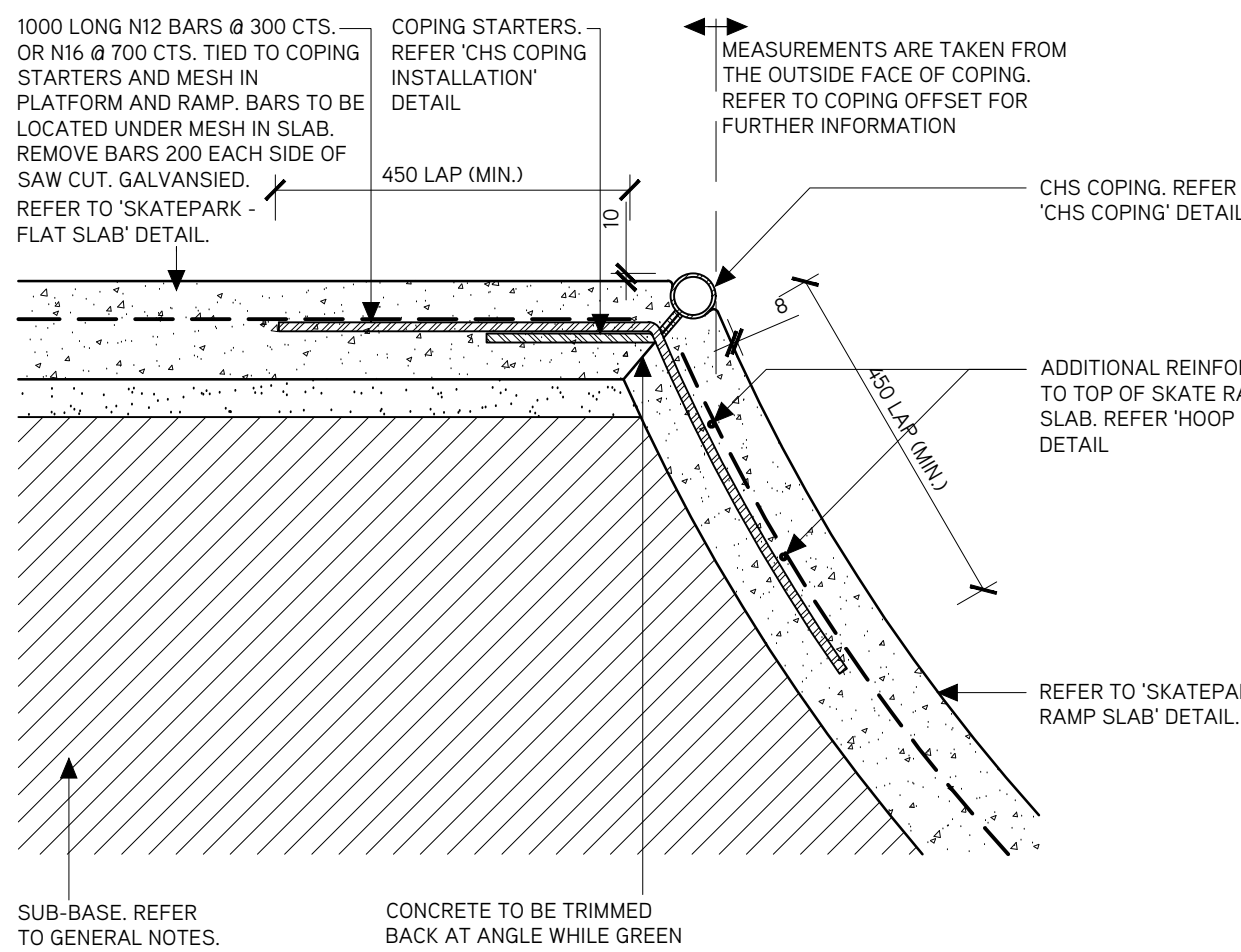
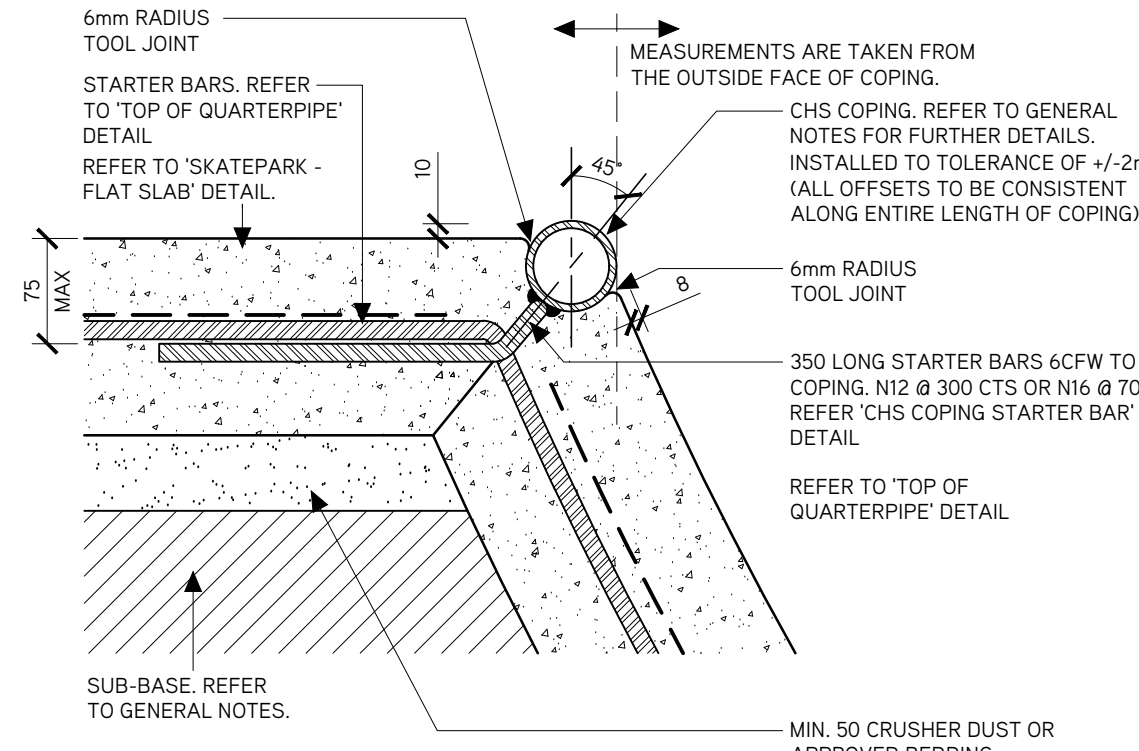
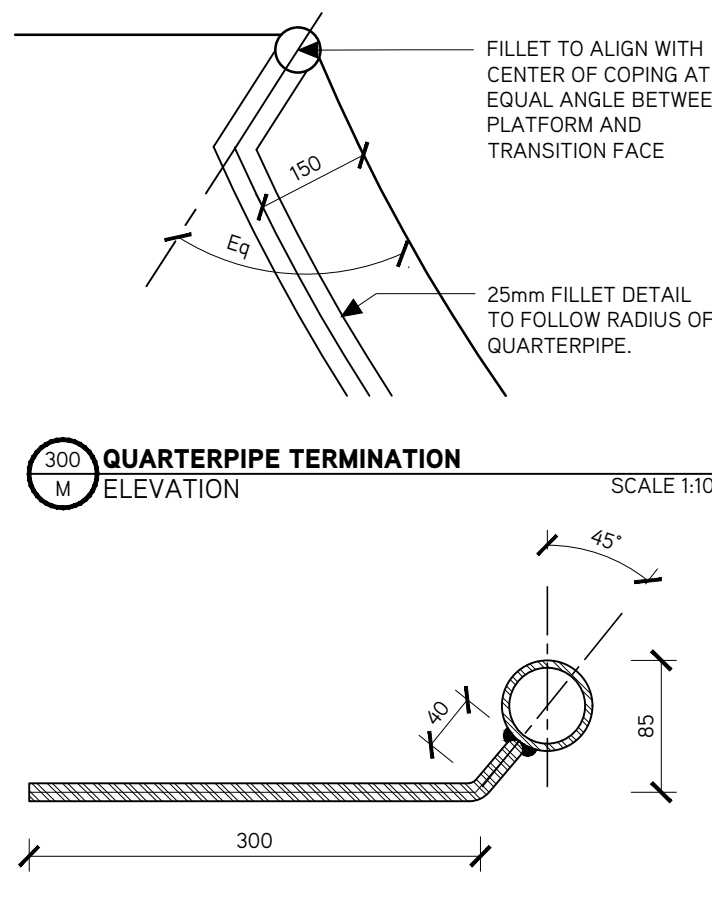
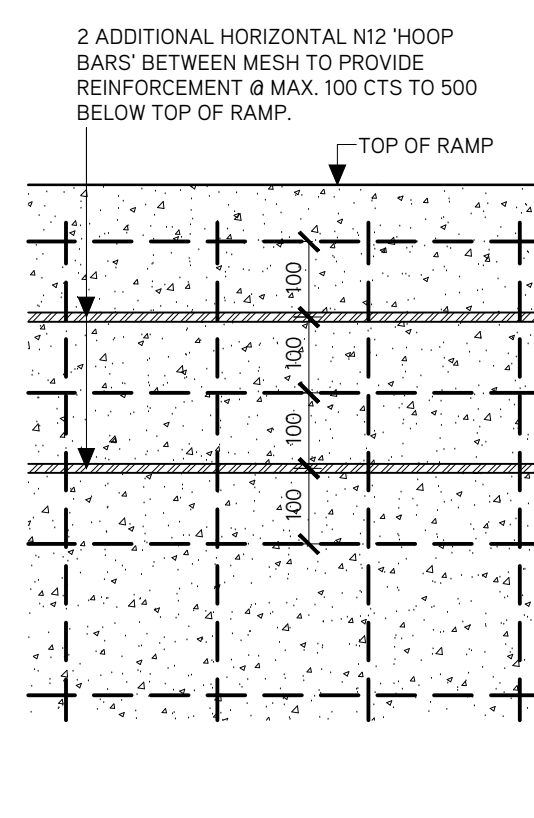
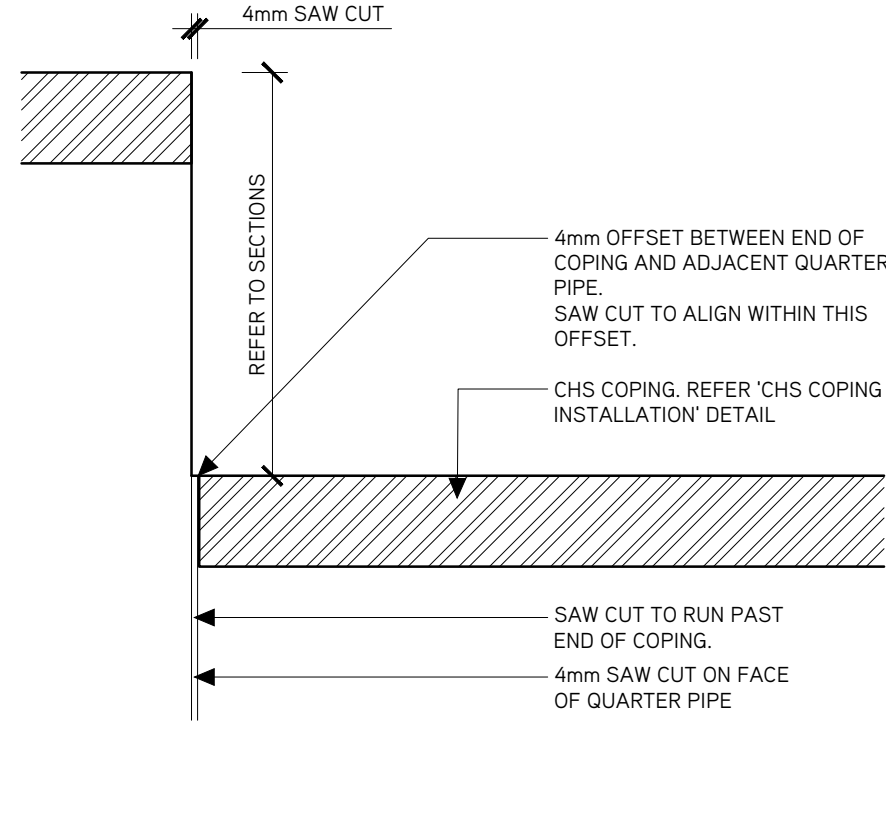
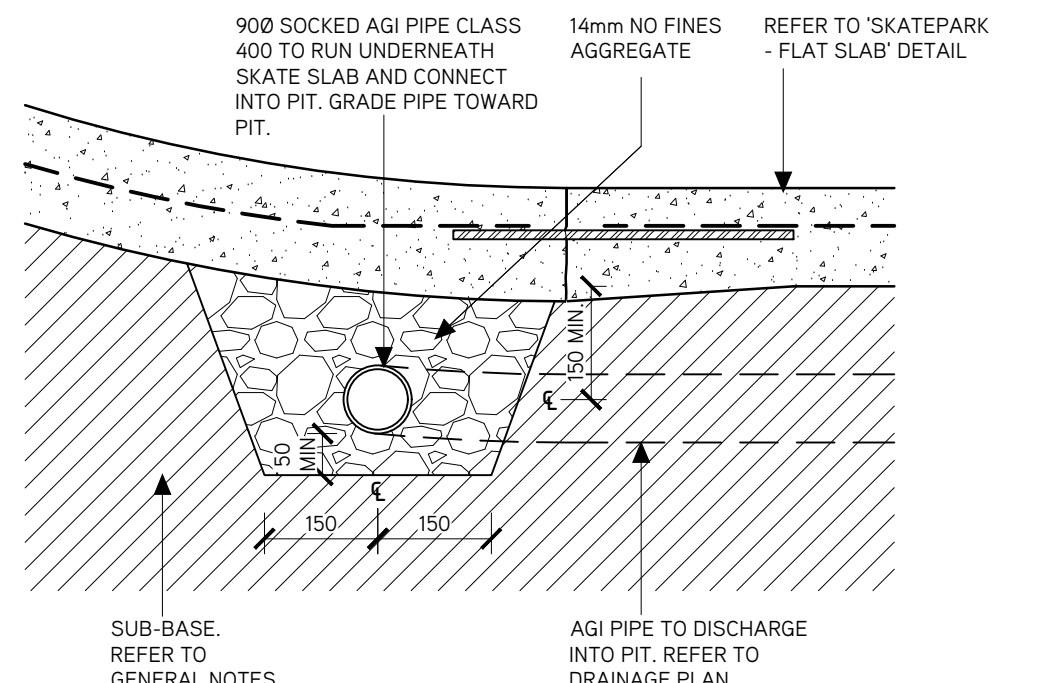
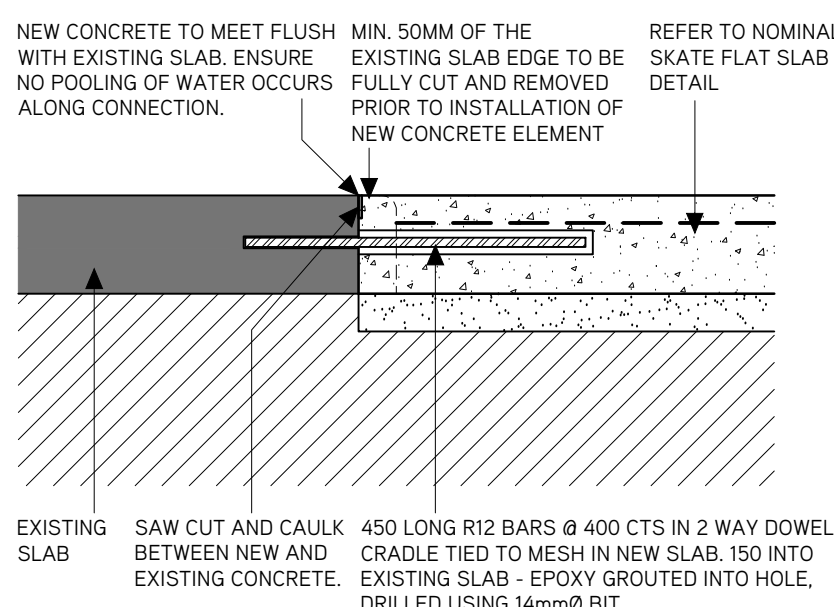
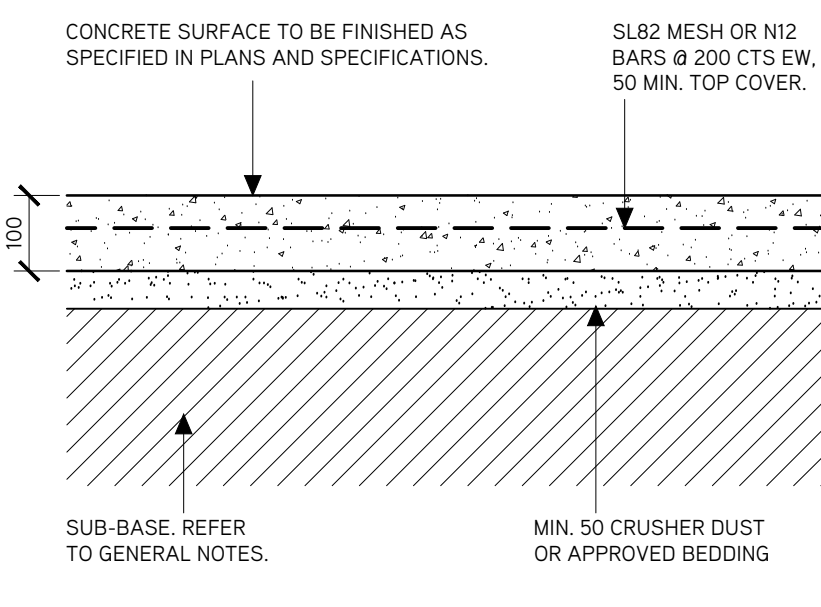
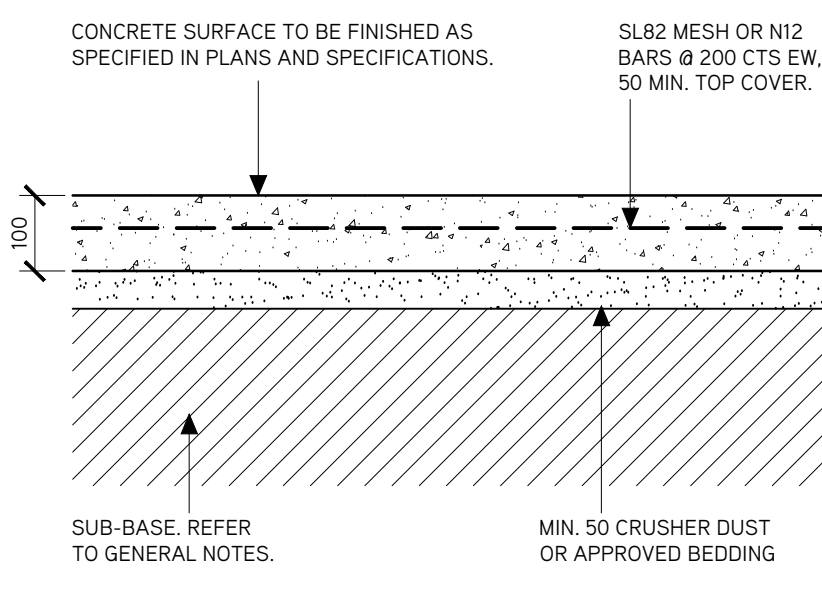
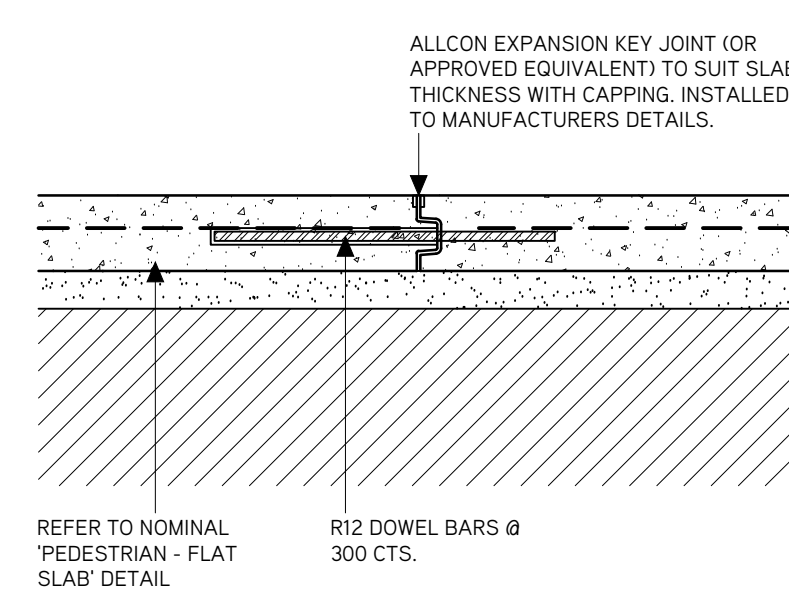
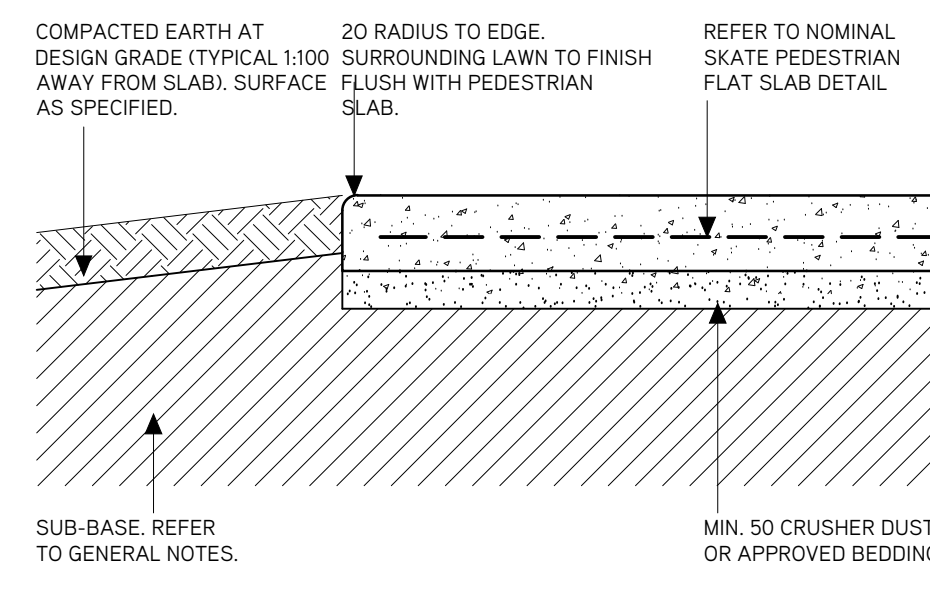
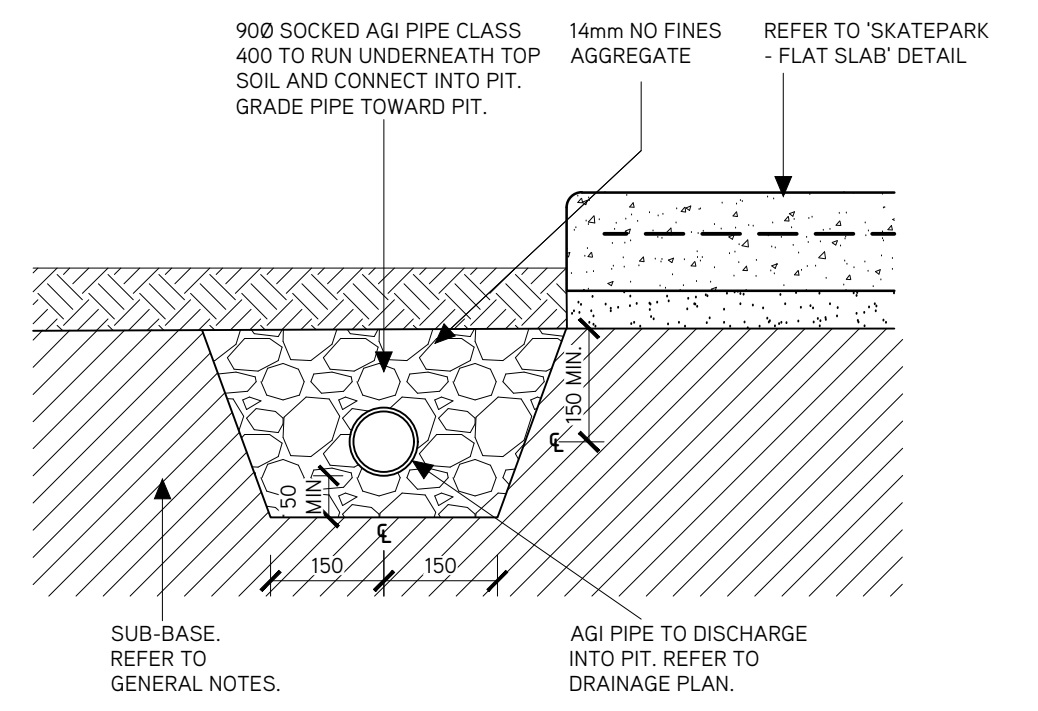
NOMINAL SKATE RAMP SLAB TABLE

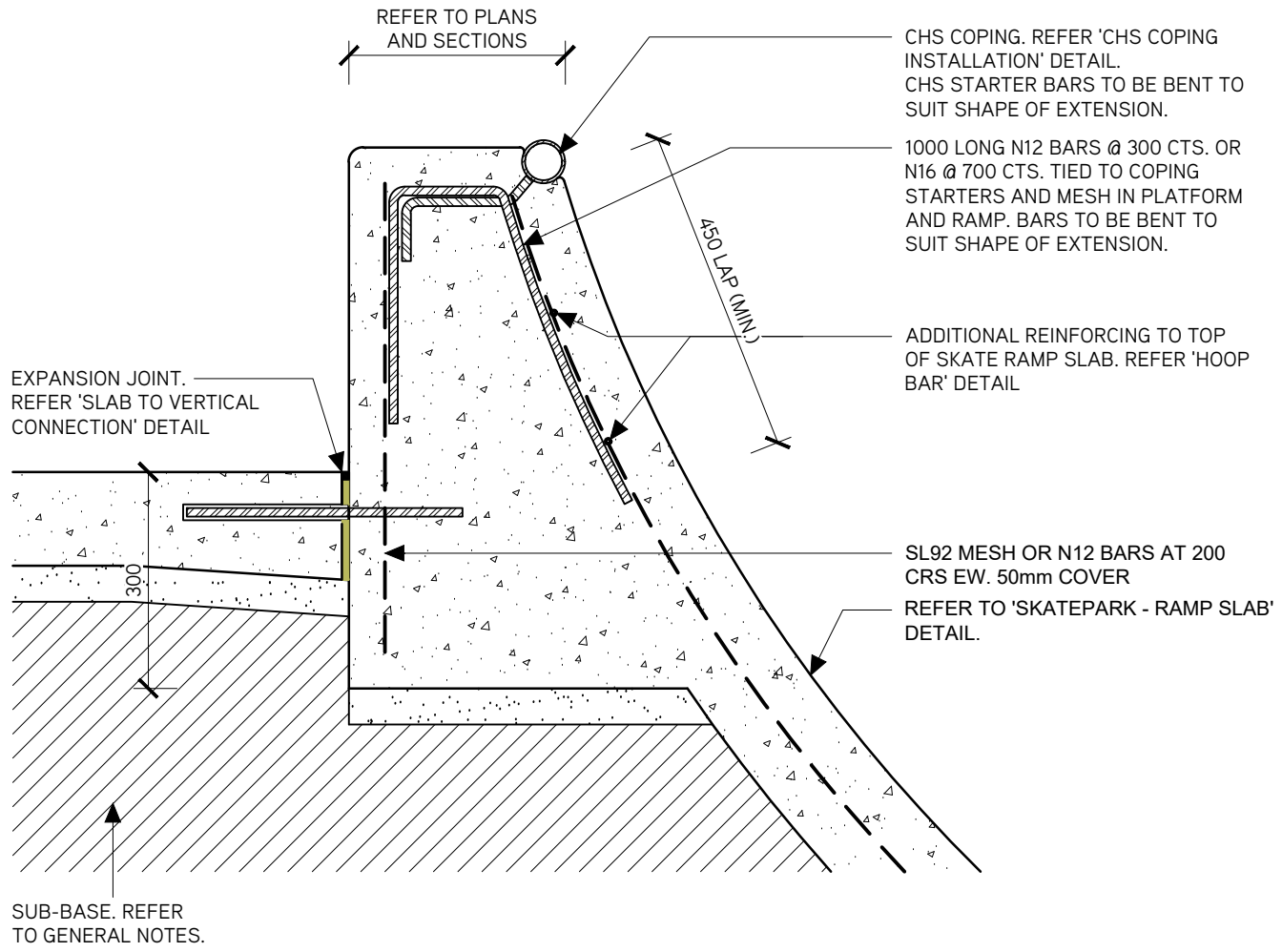
SLAB THICKNESS (t) (mm)	ADDITIONAL MESH "B" BOTTOM
150 (Min) - 175	NOT REQUIRED
176 - 200	SL 62 BOTTOM OR N12 @ 400 CTS.
201 - 250	SL 72 BOTTOM OR N12 @ 400 CTS.
251 - 300 (Max)	SL 92 BOTTOM OR N12 @ 300 CTS.

REFER TO 'GENERAL NOTES' FOR FURTHER

SAW CUT REQUIREMENTS:
SAW CUTS SHALL BE ALIGNED, STRAIGHT AND ACCURATE. MARK FORMWORK OR SIMILAR TO ENSURE ACCURATE PLACEMENT / ALIGNMENT. SAWCUTS TO BE CAULKED.

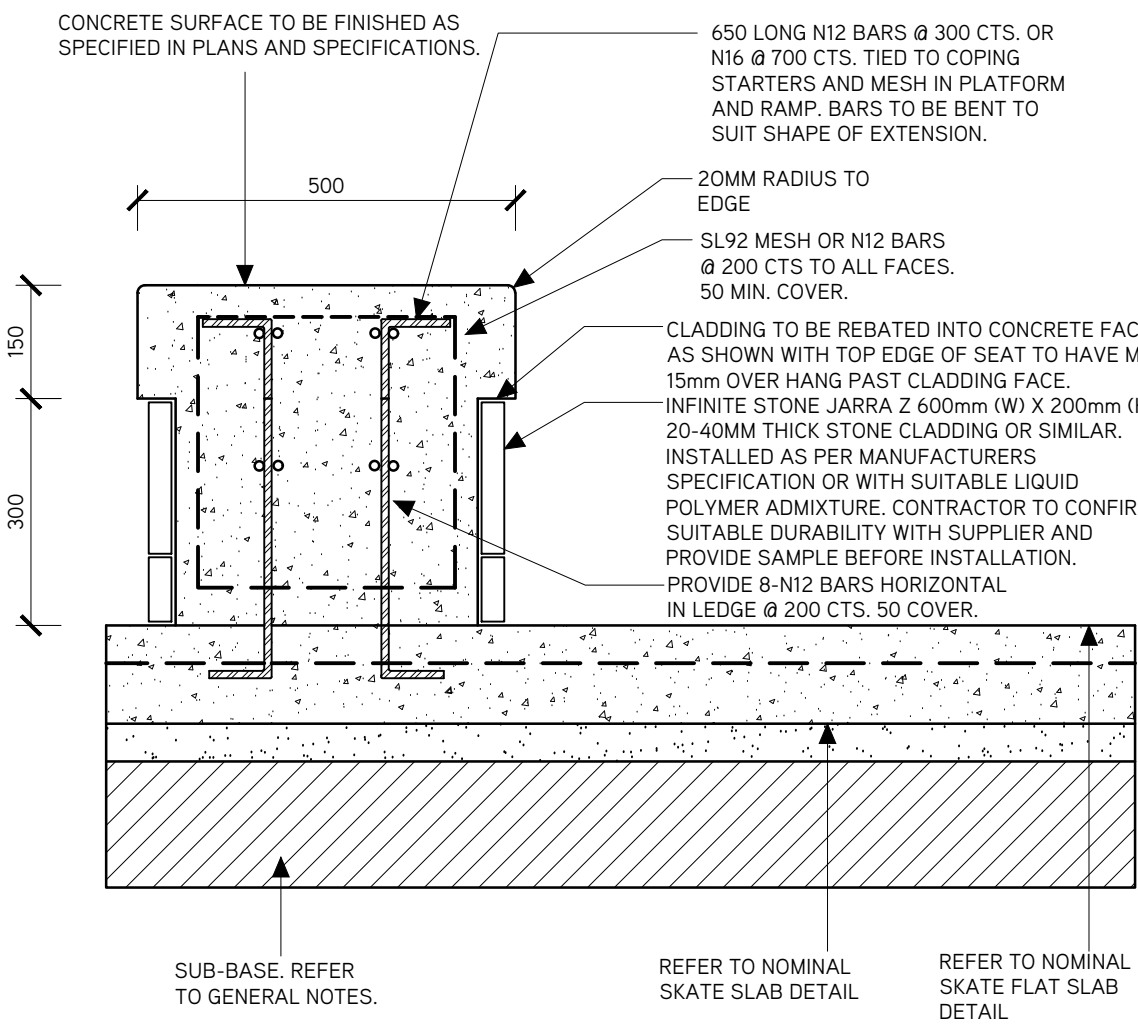
CUT EVERY SECOND REINFORCEMENT BAR ADJACENT TO SAW CUT.

**300 C SKATEPARK - SAW CUT**
SECTION SCALE 1:10**300 D SKATEPARK - CONSTRUCTION JOINT**
SECTION SCALE 1:10**300 E SKATEPARK - RAMP TOE**
SECTION SCALE 1:10**300 F SKATEPARK - EDGE BEAM (USE ADJACENT TO MOUNDED EARTH)**
SECTION SCALE 1:10**300 G SKATEPARK - SLAB EDGE (USE ADJACENT TO FLAT EARTH)**
SECTION SCALE 1:10**300 H RHS COPING INSTALLATION**
SECTION SCALE 1:10**300 I SKATEPARK - SKATE RAIL INSTALLATION**
SECTION SCALE 1:10**300 J GRANITE KERB ON QUARTER PIPE**
SECTION SCALE 1:10**300 K TOP OF QUARTER PIPE**
SECTION SCALE 1:10**300 L CHS COPING INSTALLATION**
SECTION SCALE 1:5**300 M QUARTERPIPE TERMINATION**
ELEVATION SCALE 1:10**300 N HOOP BAR DETAIL**
ELEVATION SCALE 1:10**300 O QUARTERPIPE EXTENSION SAW CUT**
ELEVATION SCALE 1:5**300 P SKATEPARK - SUBSOIL DRAINAGE AT RAMP TOE**
SECTION SCALE 1:10**300 Q NEW TO EXISTING SLAB CONNECTION**
SECTION SCALE 1:10**300 R PEDESTRIAN - FLAT SLAB**
SECTION SCALE 1:10**300 S PEDESTRIAN - FLAT SLAB**
SECTION SCALE 1:10**300 T PEDESTRIAN - CONSTRUCTION JOINT**
SECTION SCALE 1:10**300 U PEDESTRIAN - SLAB EDGE**
SECTION SCALE 1:10**300 V SKATEPARK - SUBSOIL DRAINAGE AT SKATE PARK EDGE**
SECTION SCALE 1:10



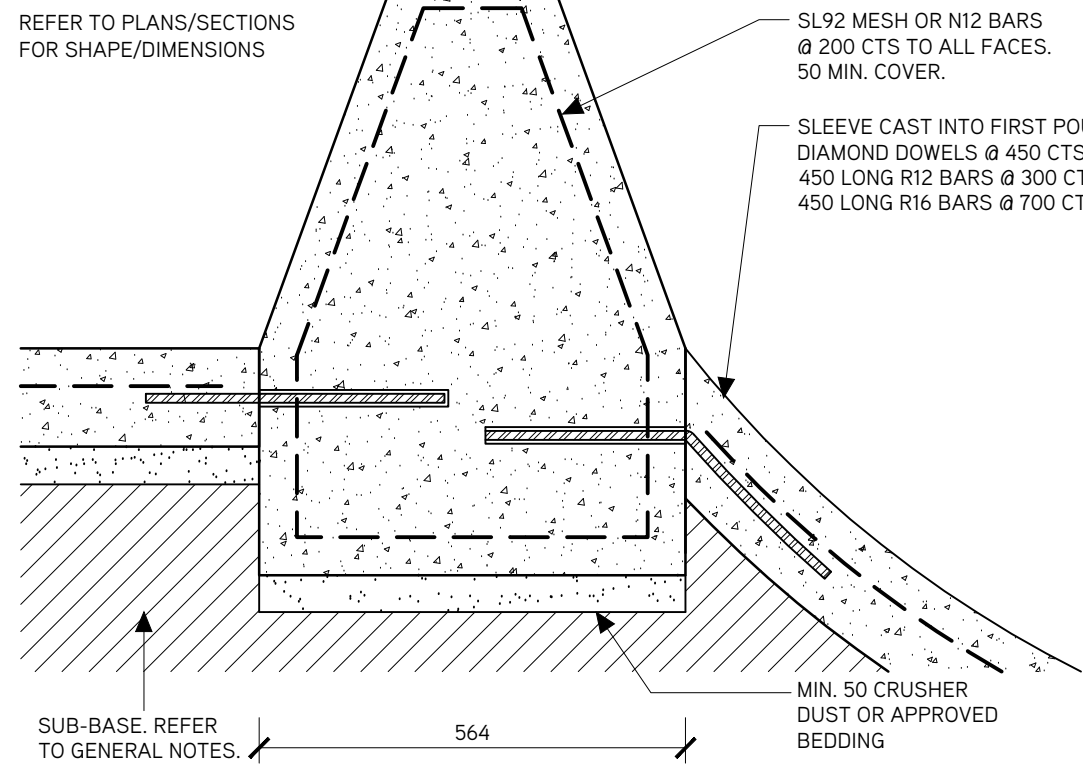
301
A
SECTION

SCALE 1:10



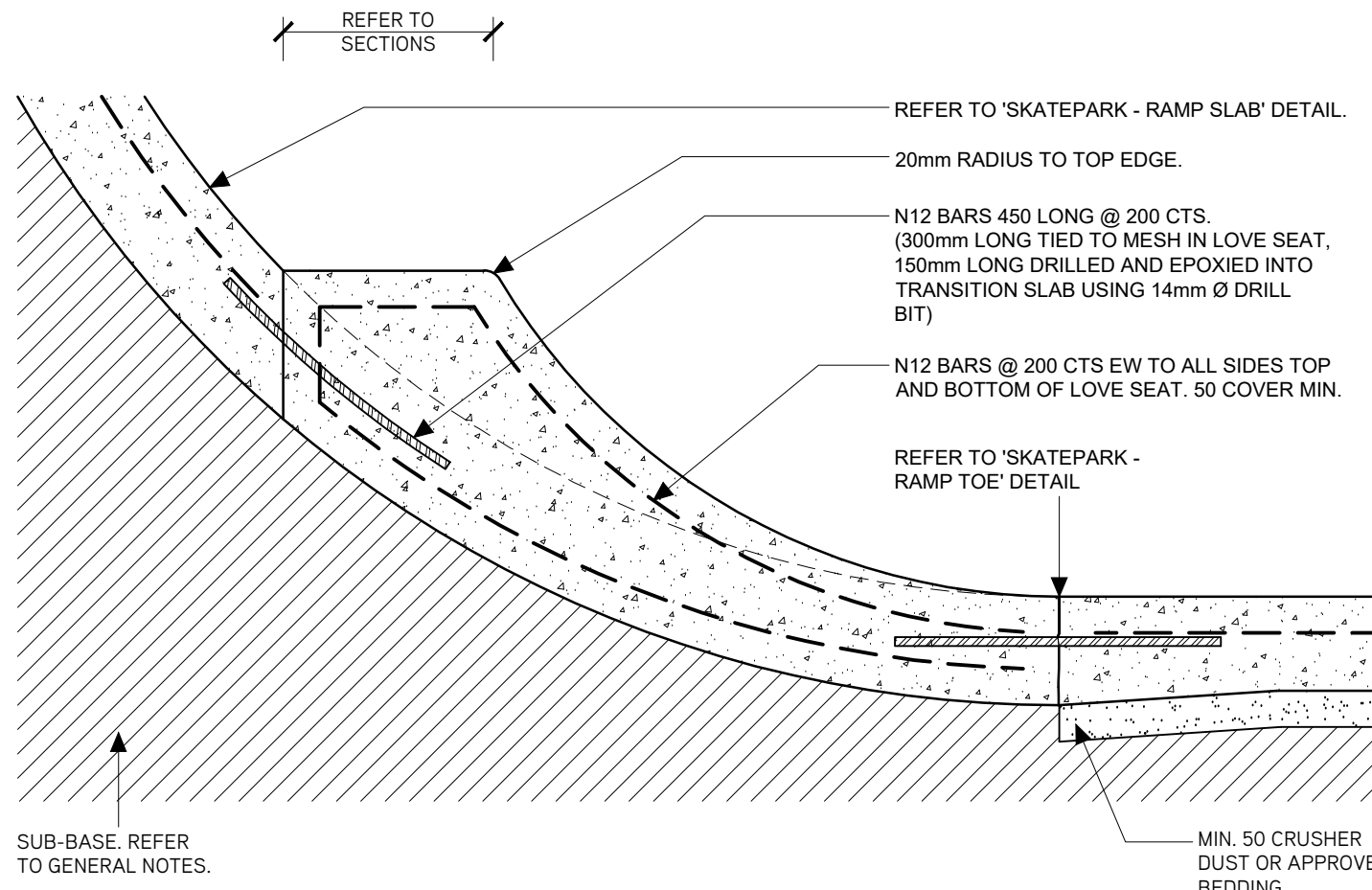
301
B
SECTION

SCALE 1:10



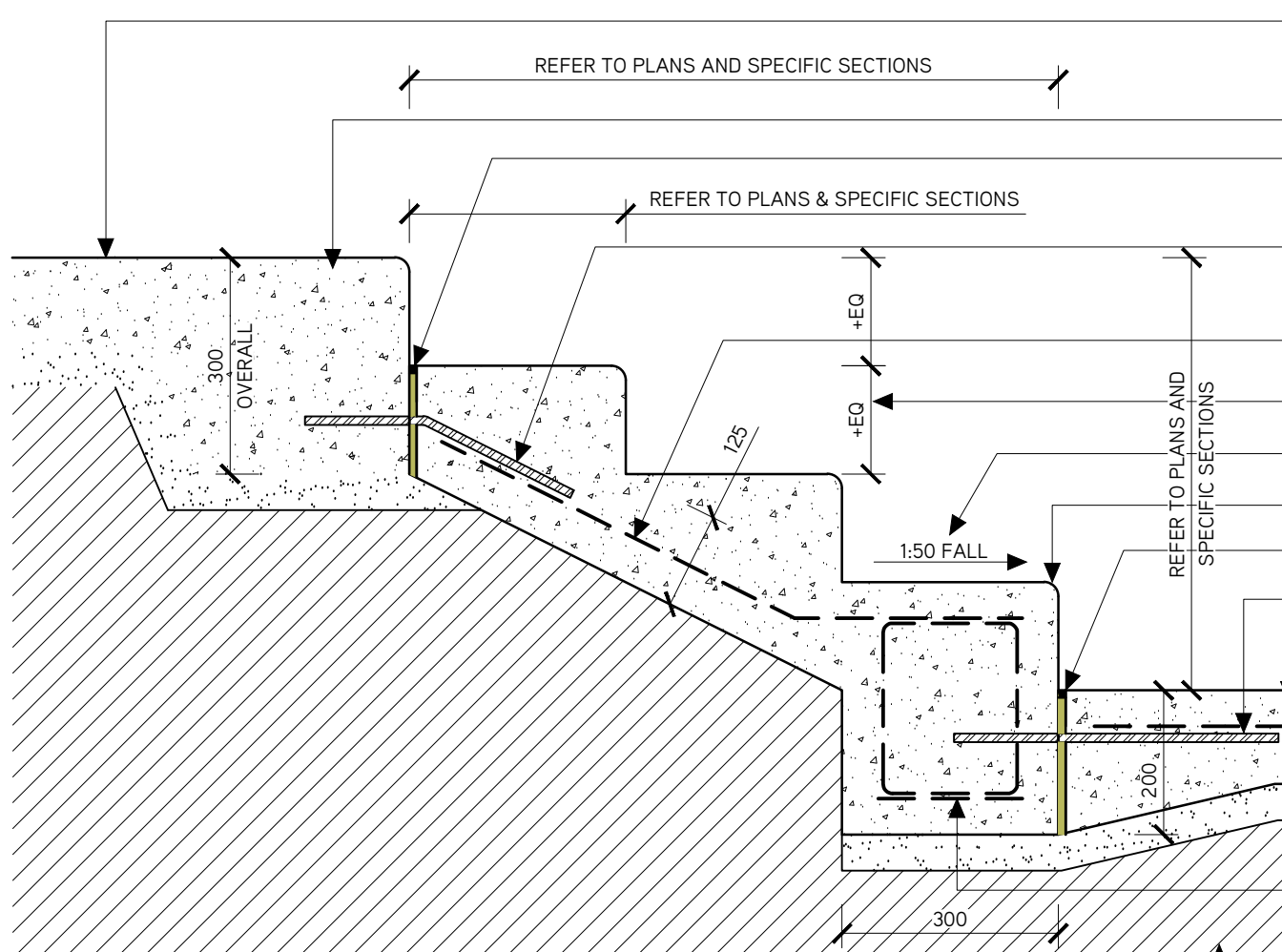
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SECTION

SCALE 1:10



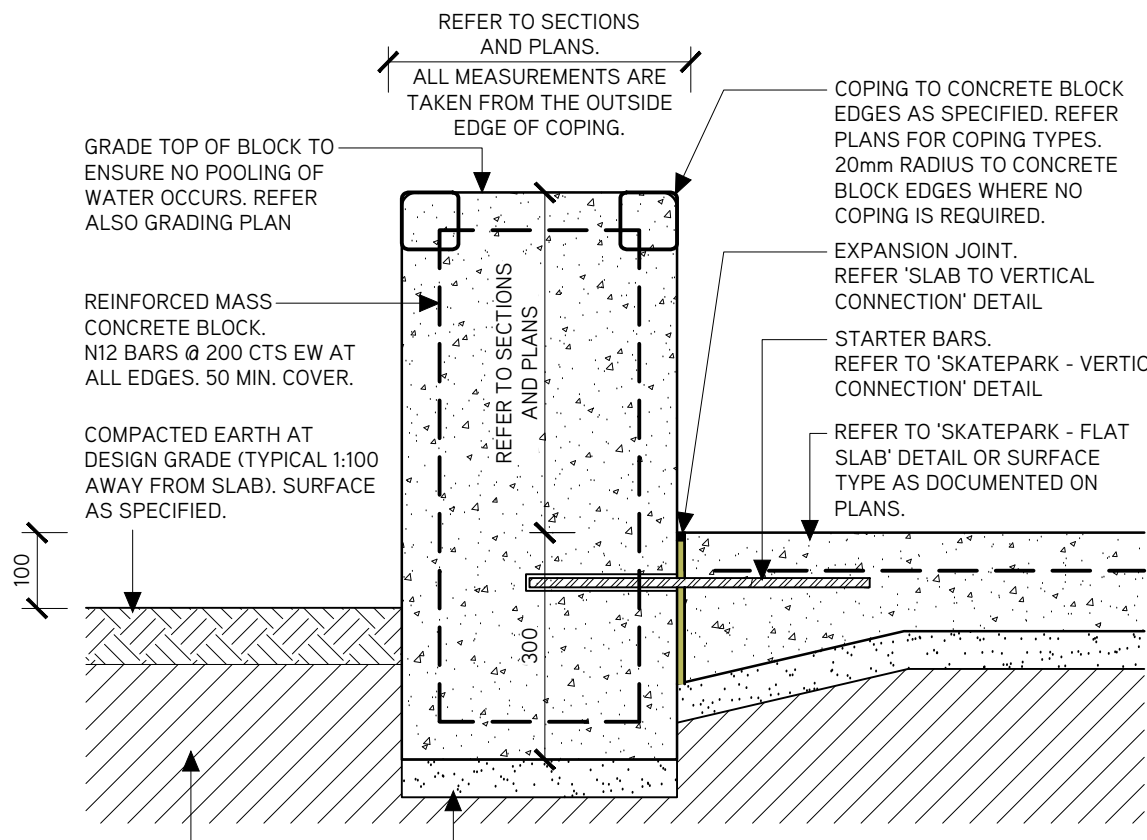
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SECTION

SCALE 1:10



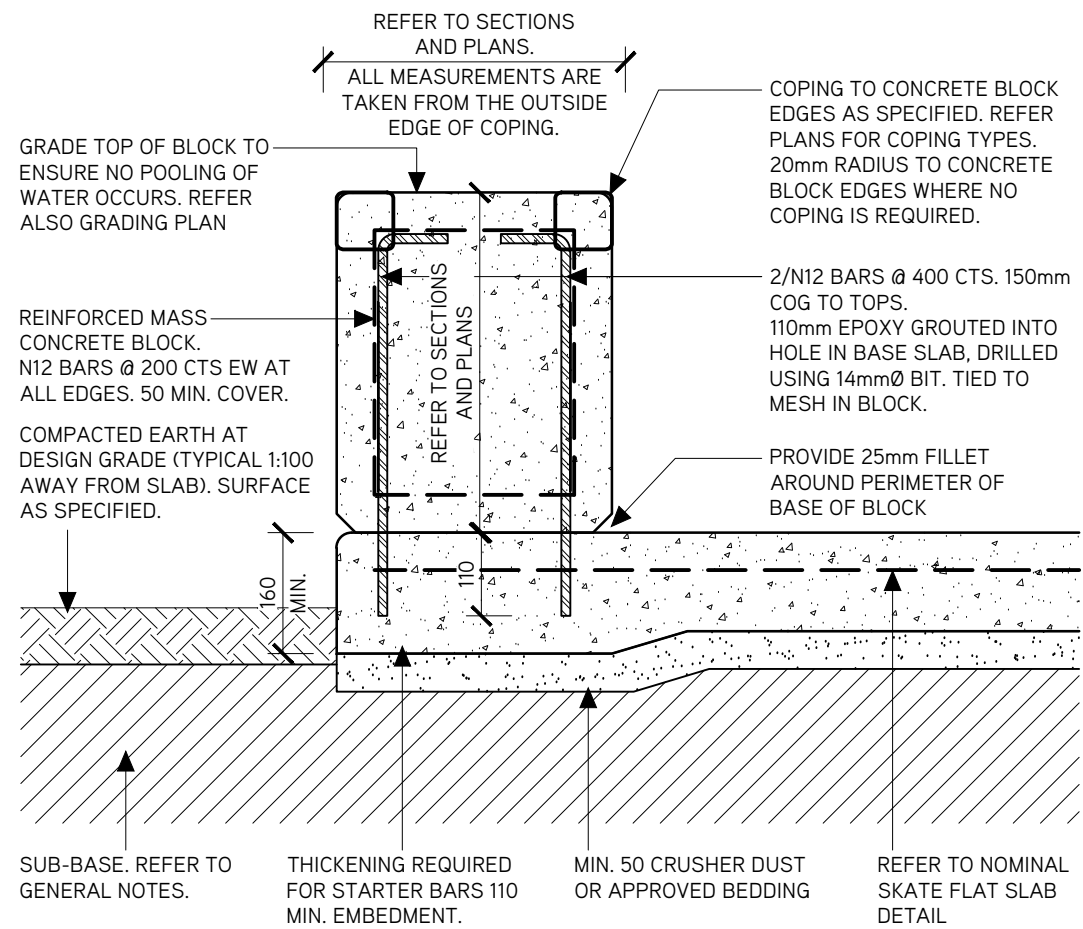
301
E
SECTION

SCALE 1:10



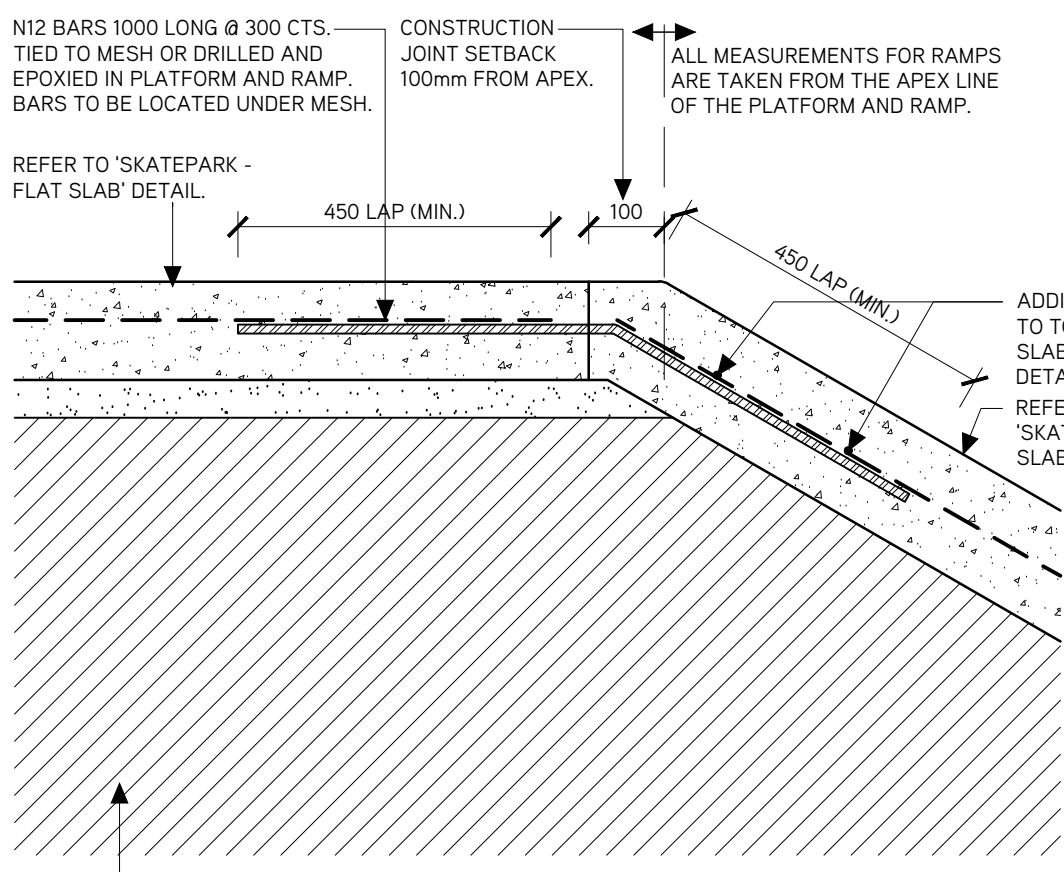
301
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SECTION

SCALE 1:10



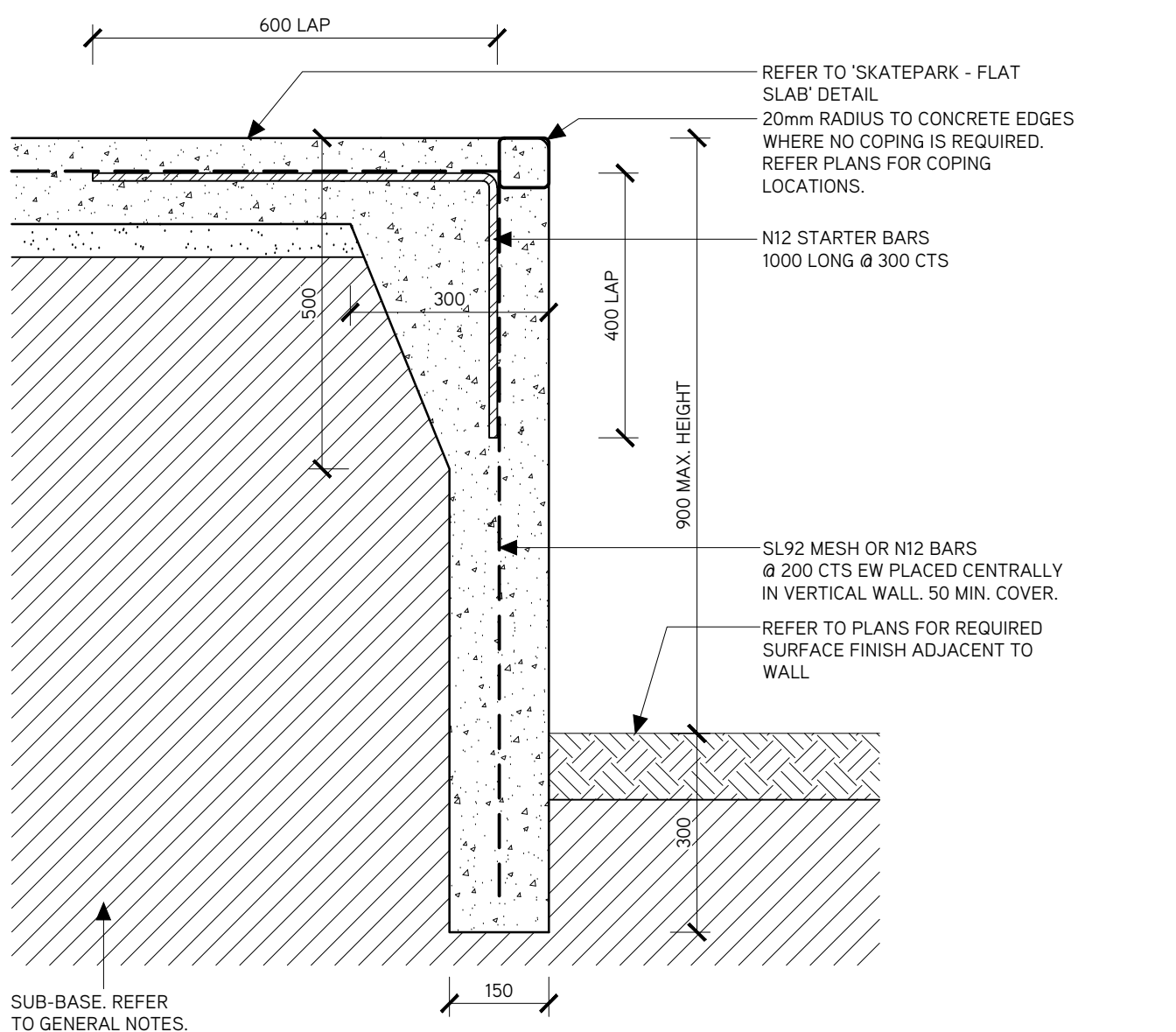
301
G
SECTION

SCALE 1:10



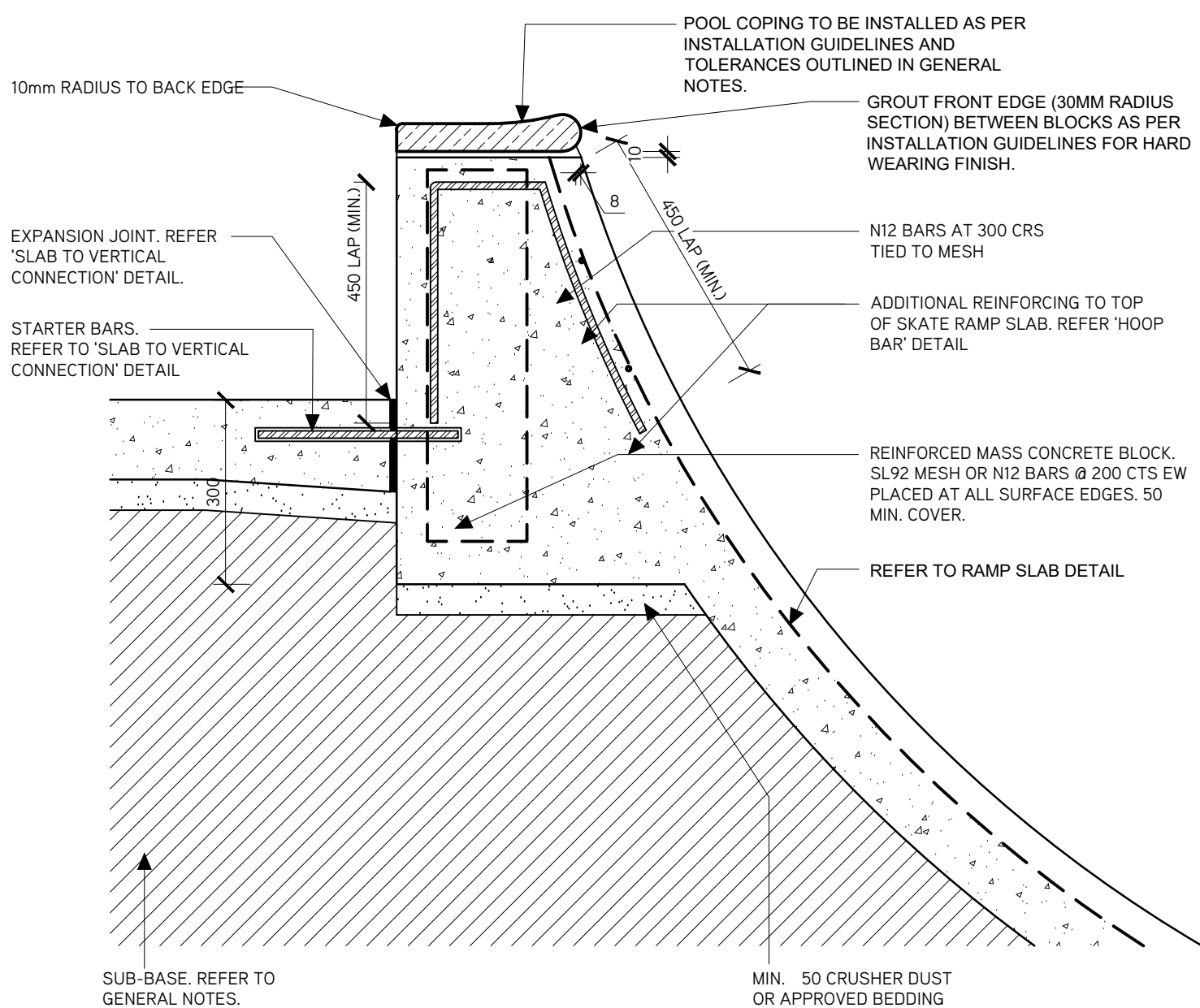
301
H
SECTION

SCALE 1:10



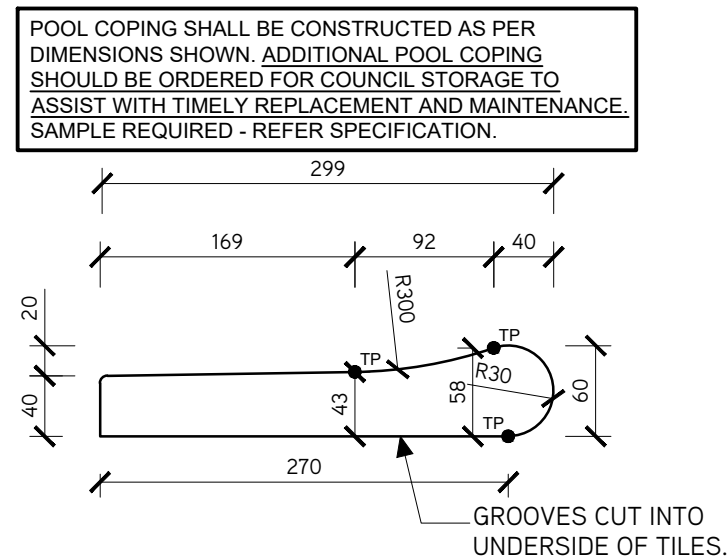
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SECTION

SCALE 1:10



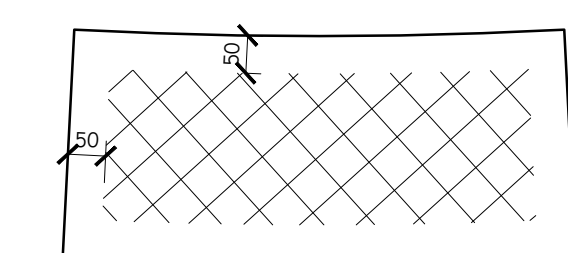
301
J
SECTION

SCALE 1:10



301
K
SECTION

SCALE 1:5



301
L
PLAN

SCALE 1:10

POOL COPING SCHEDULE

MATERIAL	COLOUR	FINISH	SUPPLIER
GRANITE.	SALT n PEPPER.	POLISHED.	GRANITE WORKS.

- NOTE. REFER TO GENERAL NOTES FOR INSTALLATION TOLERANCES.
- INSTALLATION GUIDELINES FOR POOL COPING ARE AS FOLLOWS.
- SCABBLE SURFACE AND PRESSURE WASH.
 - APPLY PAREX, DAVCO'S ULTRA PRIME TO THE SURFACE TO WHICH THE COPING WILL BE INSTALLED. ONLY APPLY PRIMER TO THE AREAS THAT WILL BE WORKED ON EACH DAY. PRIMER WILL DRY WITHIN 15 TO 20 MINS.
 - APPLY LEVELING COAT (NO GREATER THAN 15MM IN THICKNESS) OF PAREX, DAVCO'S SMP 2010 MIXED WITH PAREX DAVCO'S DAVELASTIC DILUTED 50/50 WITH CLEAN WATER.
 - APPLY THE ULTRA PRIME TO THE LEVELING COAT OF SMP 24 HOURS AFTER THE LEVELING COAT HAS BEEN APPLIED
 - AFTER THE PRIMER HAS DRIED, APPLY THE SMP AND DAVELASTIC LEVELING COAT WITH A 12MM NOTCHED TROWEL.
 - MAKE SURE THE BACK OF THE GRANITE TILES ARE CLEAN.
 - APPLY A SKIM COAT OF THE SMP AND DAVELASTIC TO THE BACK OF EACH TILE BEFORE INSTALLATION.
 - WORK THE COPING TILES WELL INTO THE ADHESIVE.
 - GROUT FRONT EDGE (30MM RADIUS SECTION) BETWEEN BLOCKS WITH SELLEY'S 'NEAD-IT STEEL' FOR HARD WEARING FINISH.
 - GAPS BETWEEN BLOCKS FILLED WITH DAVCO 'EPOXY GROUT' FINISHED FLUSH WITH SURFACE TO MANUFACTURERS RECOMMENDATIONS.
 - CLEAN EXCESS MORTAR FROM ALL POOL COPING BLOCKS AND SURROUNDING CONCRETE SURFACES IMMEDIATELY TO PREVENT STAINING & ROUGH SURFACE FINISH. RECTIFICATION SHALL BE AT CONTRACTORS EXPENSE FOR UNACCEPTABLE FINISH

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SCALE
AS SHOWN
LENGTHS ARE IN METRES

NORTH POINT

B	FOR CONSTRUCTION	26.04.21
A	DRAFT DETAILED DESIGN ISSUE	31.03.21

PROJECT
BAY AND BASIN SKATE PARK
BAY AND BASIN LEISURE CENTRE

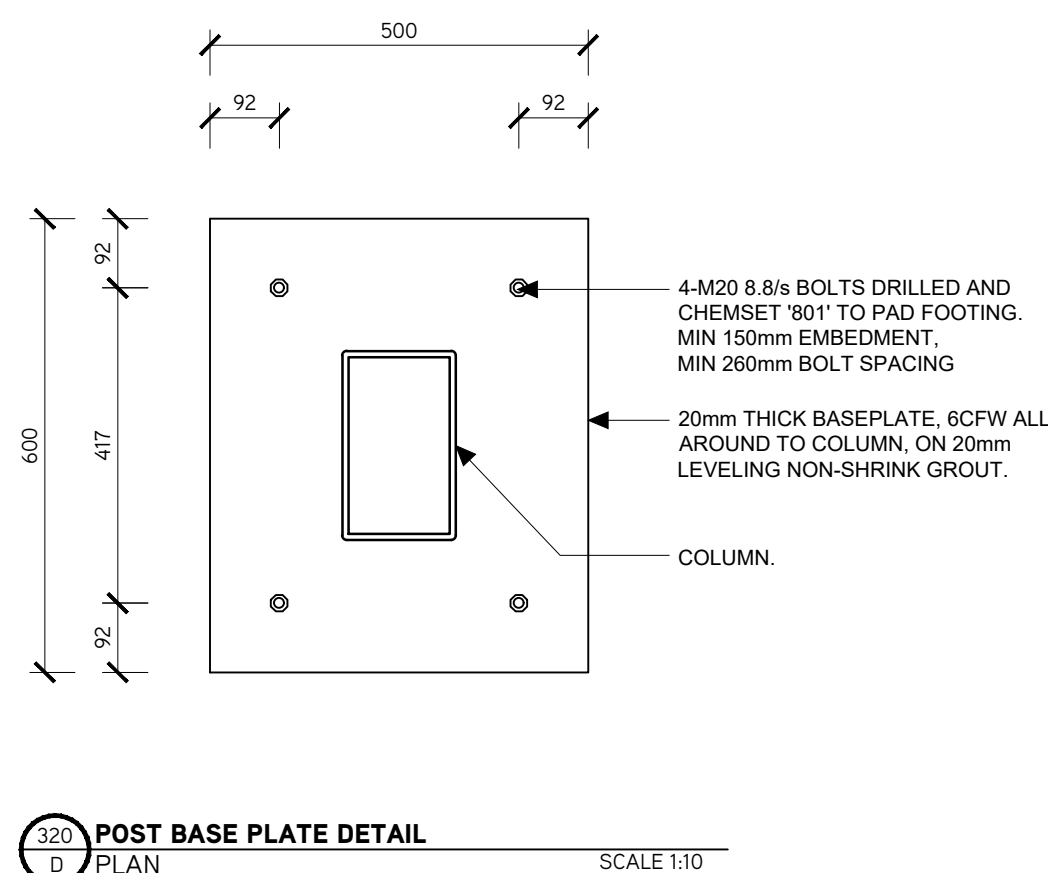
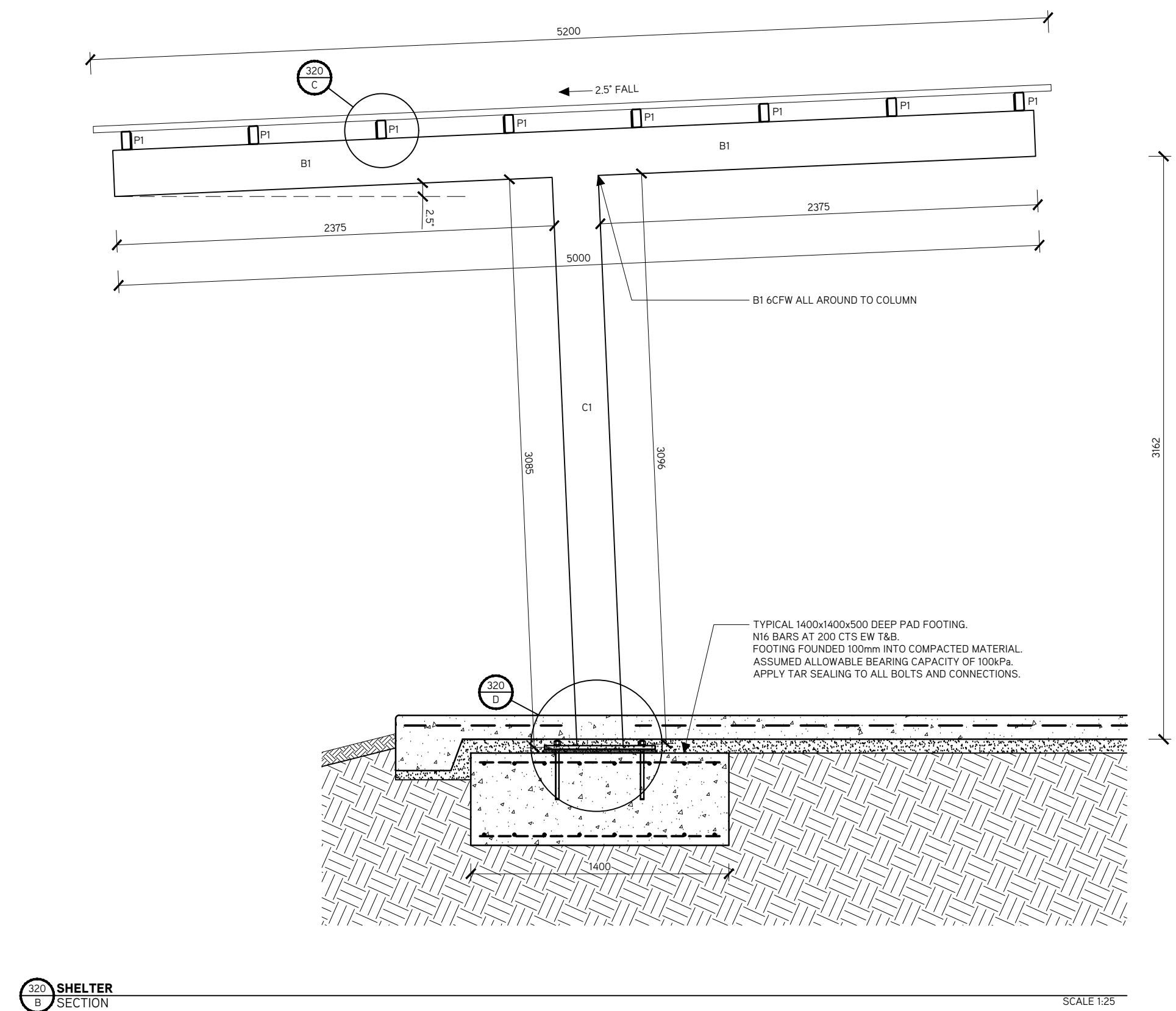
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DETAILS 02

FOR CONSTRUCTION

DRAWING NUMBER

REV

20025_CD301 B



SHELTER SCHEDULE				
MEMBER	DESCRIPTION	SIZE	QUANTITY	FINISH
B1	BEAM	250x150x8mm THICK RHS	2	HDG AND PAINTED YELLOW REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'GOLDEN MARGURITE A181'
C1	COLUMN	250x150x8mm THICK RHS	2	HDG AND PAINTED YELLOW REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'GOLDEN MARGURITE A181'
P1	PURLIN	100x50x3mm THICK RHS	8	HDG AND PAINTED BLACK REFER TO GENERAL NOTES COLOUR: TO MATCH DULUX 'BLACK SG6G9'
SHEETING	ROOF SHEETING	CUSTOM ORB	1	COLORBOND 'MONUMENT'.

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20025_CD320 B